



The Framework

5. The Framework

5.1 The SWSH Visioning Framework Vision

Jersey celebrates a unique culture and character which differentiates itself from other British Isles. This includes unique cuisine, currency and famous local produce including dairy and potatoes, and the ancient language of Jerriais.

PEOPLE, CULTURE AND SENSE OF PLACE

The timeline for Jersey is rich and full of stories. It includes Neolithic activity, evidence of Bronze Age and early Iron Age settlements and documented occupation that extends over a thousand years. The Island has seen Viking invasions, hand overs of power and unsuccessful attempts to retake the Island, it is fair to say Jersey has a unique history.

The culture of Jersey is largely impacted by its history, including the battle of Jersey in 1781 and the German occupation of the Channel Islands between 1940 and 1945 during WWII. Today, citizens celebrate Liberation Day (May 9th) and Liberation Square commemorates the deliverance of the island. During the invasion, the island saw severe food shortages and many resorted to foraging the land to form imaginative substitutes for commonplace items such as tea. This wilful determination and preservation of the occupation generation lives on in their descendants and today's local community. Remnants of this occupation can be seen with the casemates and tunnels found on the Island including one casement within the Framework.

Today, life in Jersey is very different. Immigration has seen a multi-cultural society of Polish, Russian, Hungarian, Italian, French, Portuguese and Madeirans. Community, food, colour, music, art and life is embedded in the DNA of the Island population. Islanders are more physically active and conscious of lifestyle choices than that of it's neighbours in the UK and France and this is matched with a higher life expectancy.

JDC and the design team have been inspired by the passion of the local community and their desire to tell stories, share ideas and guide the team to reflect what a true sense of place and 'St Helierness' looks like in the SWSH Visioning Framework.

This Framework is many things. It's designed for the 'Jersey way of life'; it's for the hard working entrepreneurial spirit, a desire to promote and eat fine food, a place to run, walk, cycle and play amongst nature, a place to hide from that 'howling' south-westerly, a place to appreciate views of Elizabeth Castle, an extension of town, a place to grow a sustainable legacy for the children of Jersey.



Figure 5.1 Coastal setting impacting food and culture



Figure 5.2 Historic image of King Street



Figure 5.3 Historic image of Chateau de Montorgueil



Figure 5.4 Historic image of the Esplanade



Figure 5.5 Pomme d'Or Hotel, Liberation Day



Figure 5.6 Jersey royals



Figure 5.7 Unique food offering



Figure 5.8 Coastal lifestyle



Figure 5.9 Historic image of locals enjoying the sea



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NATURAL LANDSCAPE

From the powerful ebb and flow of the largest tidal ranges in the world forming a rugged coastline, sandy dune land, high headland cliffs, valleys and sheltered woodland inlets; Jersey provides breathtaking inspiration for the landscape led framework on St Helier waterfront.

Jersey has an incredibly rich history, dating back 250,000 years. It is an island of diversity and represents economic growth and innovation. Jersey has a strong identity, rich in environmental, built and cultural assets.

St Helier's close proximity to natural beauty, including the long coastline, provides access to natural amenity that many other towns can only dream of. Jersey is also home to a dynamic, agriculture and textiles industry that contributes greatly to its economic success. St Helier and the people of Jersey have a strong link to the natural environment. This combination attracts a wealth of visitors and investment, drawn by the rich array of engaging experiences and space that the island offers.

Current demands to accommodate various scales of economic and residential growth need to be carefully balanced with the town's desire to remain one of Britain's most desirable island destinations. The diverse range of projects that add value are currently being progressed, from urban greening and water environment improvements through to public engagement, cultural collaboration, public health and tourism initiatives.

St Helier waterfront has the potential to reinforce the cultural and creative dimensions of the town, contributing to the town's overall image of vibrancy, diversity and creativity, and furthering its reputation as a mecca for distinctive natural settings, architecture and fine public spaces.

The approach to a landscape-led framework underpins the public and private spaces with strong references to the unique natural assets of the area. Situated on the south coastline, bringing together rural, marine and urban environments in a dynamic and exciting way. This is special place for both nature and people. The Vision would see nature irrigate the site, accompanying the visitor on new journeys, making linkages attractive and seasonal and beautifying places in which to linger and explore.



Figure 5.10 Textures and colours of Jersey



Figure 5.11 Potelet Martello Tower



Figure 5.12 La Corbière Lighthouse



Figure 5.13 Path to Elizabeth Castle



Figure 5.14 Rising tide on path to Elizabeth Castle



Figure 5.15 Rhyolite porphyry Jersey



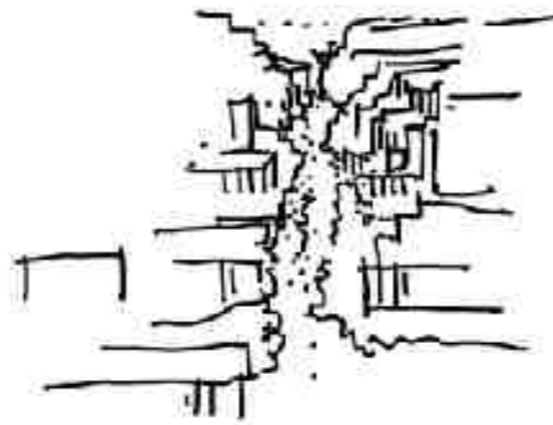
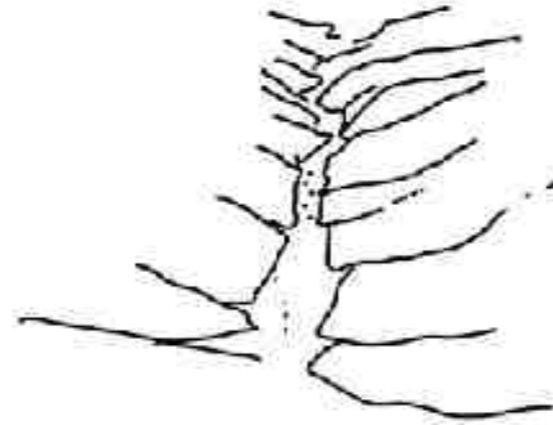
Figure 5.16 Local pink granite paving



Figure 5.17 Organic form of the rugged coastline

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HEADLAND

The prominent verdant escarpments that circumnavigate the island transition down to embrace the rugged coastal edge.

The framework massing fits within this formation, using existing built form as precedent for scale the massing sits between the existing built environment and the natural profile of the townscape.

VALLEY

Valley 'veins' cut through the landscape of Jersey, connecting the plateau with the waters edge. These valleys irrigate the landscape and create diverse networks of flora and fauna for the community to walk and explore.

The development heights vary cross the Framework; a process of 'push and pull' and stepping to the massing helps to create a series of landscaped terraces and podium amenity spaces, with soft landscape visible from streets and waterfront.

COAST

A +10.0m tide change provides an ever changing coast landscape throughout the day. From turquoise waters to rock and sand-scapes.

The proposals align with the communities aspirations for better connections to and from the waterfront and a well programmed and high quality active coastal environment. The proposals provide a generous promenade and quick pedestrian and cycle connections to the waterfront.

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5.1 The SWSH Visioning Framework - Vision

VISION FOR THE COMMUNITY

This is a Framework for the people of St Helier and Jersey, now and in the future. It is the basis to provide new homes, culture, commerce and leisure. It sets a cleaner, more sustainable future for the children of St Helier and to heal the natural environment. The following objectives are based on the key points made by the community in the SPG, consultation sessions and stakeholder workshops:

HEAL

The Framework must address the severance caused by La Route de la Libération. Connecting the town and waterfront. An immediate solution must be included in the first phase of works. Jersey must also push for low carbon means of transport and reduce vehicle usage. This Framework should facilitate this.

RESTORE

Untold impact on the planet has been caused over hundreds of years, St Helier has removed its dunescape, extensively infilled marine environment for industry and lost important green links. This Framework must heal lost connections to nature, and cleanse pollutants caused by current daily life. This must be a climate resilient and biodiverse environment.

CREATE

Take inspiration from the local vernacular ratio, scale, length and alignment of streetscape. New pedestrian priority streets, lanes and arcade connections should align with existing routes and create new desire line links. The Framework must provide varied animated journeys and experiences for different demographics. The Framework must be creative and have a distinctive Jersey character – connections are inherently safe and part of the community.

STITCH

The framework will have a sequence of curated and flexible Public and private spaces interconnected with pedestrian streets, lanes and arcades. The network of spaces must entice the senses of being on the waterfront, provide memorable and varied journeys, moments of activity and

quieter spaces, moments to spark joy and laughter and should facilitate quirkiness and Jersey cultural expression. The stitching of varied scaled open spaces and streets should make reference to the town

REACTIVATE

The Framework must listen to the children of Jersey and the community – the Waterfront must be more than a place to walk. The Framework will be one of many Island destinations and should energise Islanders and visitors with the range of leisure, health and well-being, events, culture, play and community uses that they have been asking for.

PROTECT

The Framework must protect significant views and vistas and the character of the town. Gateway journeys to and from the town should be enhanced through architectural and landscape features.

SUPPORT

The public and private realm and ground floor uses must complement the town and other wider Jersey developments and should not compete. While the framework is residential led to provide a shortfall in Jersey homes, it must provide new social infrastructure, leisure, commercial, art and community uses to accommodate new and existing residents and visitors. The Framework shall take reference from the St Helier way of life both in architecture, food, culture, use of public space, supporting the town and enhancing the waterfront experience.

INTRODUCE

The Framework will be a benchmark for climate resilience and innovation. A sustainability framework will be used to set performance indicators for every phase of development. The introduction of Art, cultural and community uses must align with the aspirations of the Jersey Arts Strategy. A balanced mixed use balance of art, social, leisure, commercial and residential use shall form character areas, key destinations and landmarks. All uses should exemplify innovative sustainability.



Figure 5.18 The Site

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1

HEAL

CONNECTING OLD AND NEW. HEALING THE SEVERANCE



2

RESTORE

NATURAL CONNECTIONS AND CLEANSE POLLUTANTS



3

CREATE

AN AUTHENTIC URBAN STREETScape INSPIRED BY ST HELIERS VERNACULAR



4

STITCH

A NETWORK OF ACTIVE PUBLIC SPACES AND PEDESTRIAN CONNECTIONS



5

REACTIVATE

ENERGISE THE WATERFRONT TO BE A DESTINATION CONNECTED TO TOWN



6

PROTECT

PROTECT AND ENHANCE EXISTING VIEWS AND VISTAS



7

SUPPORT

COMPLEMENT EXISTING TOWN CENTRE ECONOMY, LEISURE, HERITAGE AND CULTURAL ASSETS



8

INTRODUCE

A SUSTAINABLE FUTURE - A CREATIVE FUTURE - A PROSPEROUS NEW AND EXISTING COMMUNITY

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5.2 Establishing the Brief

The SWSH Visioning Framework builds on planning policy. The baseline brief is set by the Southwest St Helier Planning Framework, Dec 2019 (SPG). The SPG included extensive community consultation held by the Design Council on behalf of the Government of Jersey. A series of community expectations, Government commitments and Framework principles set the baseline information for the SWSH Visioning Framework.

The Design Council continued to provide expert design council for the State of Jersey Development company. A competition brief was formed for KOS1, KOS2, KOS 3 and KOS7 as defined in the SPG. This brief included the following initial objectives:

- Create a compelling Waterfront that is recognised globally as an exemplar and that will attract international visitors to the Island as a result of its architecture, public realm and sense of place.
- Convert the principles outlined in the SPG into a strategic vision outlining defined development opportunities
- Create a new destination for St Helier for Island residents and overseas visitors of all ages, of appropriate uses (including commercial, residential, civic, cultural and community functions) and enhancement of the waterside location to create an enjoyable, sustainable and attractive place to live, work and play.
- Address the immediate and wider site conditions – sea level rises, meteorological conditions, topography, within the urban design strategy.
- Raise the aspirations for design quality and innovation in St Helier, in the approach to place making, landscape, building design and energy use.
- Deliver KO Sites 1, 2, 3 and 7 through a creative strategy for community engagement
- Optimise development of these KO sites, comprised of approx. 11 hectares and forms the western gateway to St. Helier.

Following the formation of JDC's (the applicant) design partner, a process of consultation with the community,

key Government of Jersey departments, Government subsidiaries, asset owners and other lobby groups took place. This was a holistic ideas and information gathering exercise to test the brief and establish new criteria for the team to develop the design. During the early stages of the design process, the applicant design team worked closely with GoJ and other key stakeholders to identify the constraints and opportunities.

Briefs are complex and should not be static, the SWSH Visioning Framework's key object is to deliver housing and provide a truly sustainable public and private realm. The Framework is for the people of St Helier and so extensive community consultation was required to understand their detailed needs now and for the future. The design team were open minded and allowed for fluidity and flexibility when listening to all the various public and statutory requirements.

At Stage 1, 2 and 3 of the community consultation the design team prepared return brief information through updated design information outlining key design moves and responses to public feedback. The back and forth to refine the design has been a team effort between all parties. This Framework is a merging of many ideas and initiatives from residents through to the Government.

A summary of feedback can be found in Chapter 4 of this Design and Access Statement. A response to key consultation comments can also be found within this section (Chapter 5).

A selection of key items that formed the developed brief and evolution of design for SWSH Visioning Framework are, but not limited to:

Climate

- Provide a net zero development and develop a Sustainability Framework to be used throughout the lifetime of all design and delivery stages.
- Raise the coastal sea wall circa 1.2m to 11.0 AOD and relocate the slipway west of the German casemate
- Secondary defences are required behind the sea wall to

- hold storm surge over topping and potential flooding
- Incorporate sustainable drainage systems throughout the Framework
- Provide education on the sustainable features within the design of the built environment and open spaces
- Incorporate within external landscape and built environment climate resilient and green infrastructure that contributes climate positive outcomes for the betterment of the planet.
- Provide infrastructure that future proofs for new sustainable technologies
- Incorporate drought tolerant planting with a low demand for water

Biodiversity

- Provide and enhance habitats for Jerseys Biodiversity Action Plan priority flora and fauna
- Biodiverse roofs are to be incorporated on all inaccessible access on every building within the Framework
- Incorporate Bird and bat boxes as well as other biodiversity enhancement measures throughout. Include a mixed mosaic of habitats on the ground floor and roofscape

Connectivity & Movement

- Facilitate the pedestrian and cycle connections from the town to the waterfront by calming La Route de la Libération through surface treatment, trees and sustainable drainage planting.
- Include a single phased signalised pedestrian crossing between the Esplanade and the waterfront across La Route de la Libération
- Include high quality tree planting and sustainable drainage system along all pedestrian, cycle and vehicle movement corridors.
- Include a bus priority lane on Victoria Avenue south carriageway adjacent Les Jardins de la Mer
- Allowance must be made for reserve space adjacent West Park junction to allow for a future junction design. Therefore minor reclamation should be allowed for in coordination with sea and flood protection measures
- A cycle lane must not be included along Victoria Avenue



Figure 5.19 Climate resilient developments



Figure 5.20 Biodiversity net gain



Figure 5.21 Connectivity and movement prioritised within the design

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in the section of the West Park Junction and new bus priority lane.

- Include segregation of varied transport modes of; pedestrians, cyclists, bus users and motorists, through careful design of materials and appropriate designation of space.
- A bus gate (bus only lane) is to be incorporated to the western end of the Esplanade for west bound vehicles only. Access for all vehicles should be allowed heading east bound
- A left hand slip turn off the Esplanade on to La Route de la Libération is to be included, but can be low priority. This is intended for Service vehicles and deliveries only
- At grade crossings of La Route de la Libération should be included in lieu of a pedestrian bridge crossing
- A publically accessible cycle hub is to be incorporated adjacent to the cycle network and should consider lockers, shower and changing facilities and a bike fixing station.
- Cycle parking should be incorporated at grade and within the basement
- EV charging for vehicles, motorcycles and bicycles should be allowed for across the Framework
- Car share clubs should be considered as well as family parking spaces
- All roads and infrastructure should follow Parish of St Helier and IHE standards.
- Incorporate a hierarchy, varied and animated pedestrian street typologies and connections throughout the Framework
- Improve access to Castle Street

Open Space

- Victoria Avenue along West Park forms the key entrance to St Helier from the West, the site should be redeveloped as it provides an important transition from Victoria Avenue to the town.
- Incorporate a large lawn within Les Jardins de la Mer and Marina Gardens
- Open space should consider the climatic conditions and provide microclimates through tree planting and building arrangement.
- St Helier scaled squares, courtyards and gardens should

be included along pedestrian connections.

- Incorporate seating at regular intervals and within the key open spaces.
- Creative and ambient landscape and architectural lighting should be located to promote night-time use in key public spaces
- Promote health and well-being in all public and private areas. Including space for residents and the community to grow food.
- Incorporate a major play hub in Marina Gardens and Les Jardins de la Mer.
- Incorporate play-on-the-way across the Framework for all abilities.
- Streets should be tree lined with appropriate maritime and wind tolerant species.
- Trees and planting must be appropriate for the coastal conditions, exposure & wind tolerance, drought, shade tolerance and predicted soil conditions and appropriate for St Helier. All soft landscape shall review species against climate resilience and water demand.
- Tree health and longevity and the provision of enough quality soil for the tree roots shall be incorporated and considered across the Framework.

Uses

- Incorporate a minimum of 1000 residential units
- The ground floor of buildings must be activated and include a mix of social, leisure, art, community, retail, food and beverage, commercial and residential. The distribution should complement and not compete with the existing St Helier economy.
- A cinema must be incorporated on the
- Art, culture and community ground floor use should be incorporated around the main public squares
- Opportunities for intrigue and local quirkiness, include space for future artists to create
- A leisure facility with indoor pool, gym, kid zone and training pool is to be incorporated adjacent La Route du Port Elizabeth
- Non-residential mixed use should bookend areas with ground floor residential to animate corners of plots
- Incorporate a series of pavilions/kiosks across the Framework within the key public realm spaces. These

should include café, toilets, ticket office, and information. Each Pavilion should have its own character based on the context of Waterfront, Pool, Square and Gardens setting.

- Open spaces should be flexible and cater for the day to day use and event mode
- Physical literacy and skills based themes should be considered throughout the public and private realm.
- Incorporate public realm and ground floor activities for young people. To 'Put Children First' it is recommended to continue the design development of reserved matter applications in consultation with the youth.
- Provide varied sport and leisure activities both formal and informal.
- Include a ParkRun adult and children's course on the waterfront
- A sheltered 25m outdoor pool should be included in the Les Jardins de la Mer with shower, changing, toilet and café facilities.
- Commercial use should be located adjacent to IFC2 and 6 to complete the 'island' of commercial

Design

- Retain coastal edge alignment, but provide new sea defensive measures.
- The Urban Character Appraisal 2005 and St Helier Urban Character Appraisal Review 2021 should be used to take character and 'jersey way of life' cues from St Helier's rich architecture, network of streets, spaces and how residents use and appreciate them.
- Architectural expression must be distinctive, integrate and relate to the local context
- The proposed public realm and architectural materials should be selected for their appearance, durability and sustainability credentials. All hard paved surfaces should be reviewed based on the Framework character areas and complementary qualities with adjacent sites and St Helier materials strategies.
- Level access should be provided site-wide. Accessibility for all abilities must be considered.
- All public and residential car and motorcycle parking is to be underground freeing up the public realm for usable open space. 1 level of basement parking should be



Figure 5.22 Open space for all



Figure 5.23 Uses for new and local community



Figure 5.24 Design for resilience

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- considered and where possible reduce dig.
- Marina Gardens basement to tie into a new public basement 2 levels.
- Incorporate a slipway west of the German casement. This replaces the existing slipway which is infilled following the increased height of the sea wall.
- Streetscape lighting must follow the Parish of St Helier and IHE standards.
- Residential bin storage should be within the basement with the exception of ground floor duplex
- All commercial bin storage is to be on ground floor
- Intensive and extensive green roofs for amenity and biodiversity are to be incorporated across the framework

Building Height & Mass

- Key pedestrian and cycle connections and view shafts should define the massing parcels
- Massing and public realm must embrace La Route de la Libération and cannot turn its back to the street. A creative and space full of Jersey life must be included either side of the road with the road proceeding through space
- Include horizontal massing setbacks along streets to provide pedestrian and cycle connections and increase green space
- Incorporate ‘push and pull’ variation in roof profiles below 8 storeys to ensure solar exposure to external spaces, a sense of human scale and character.
- Buffer the Radisson Blu Hotel parking through plot arrangements
- Massing should not encroach past the Gloucester Street alignment into the park
- Incorporate two commercial builds with continue the IFC language
- A gateway and leisure building shall be distinctive in character and form part of the St Helier arrival experience.
- All architecture should relate and complement the adjacent public and private realm.
- KOS 2 and 3 should not exceed 8 storeys in height
- KOS 1 can incorporate an apex building up to 8 storeys

Views

- The waterfront designs should celebrate existing

- features (Elizabeth Castle) as well as existing events.
- The height of buildings must sit within the context of adjacent buildings and respect immediate and distant views.

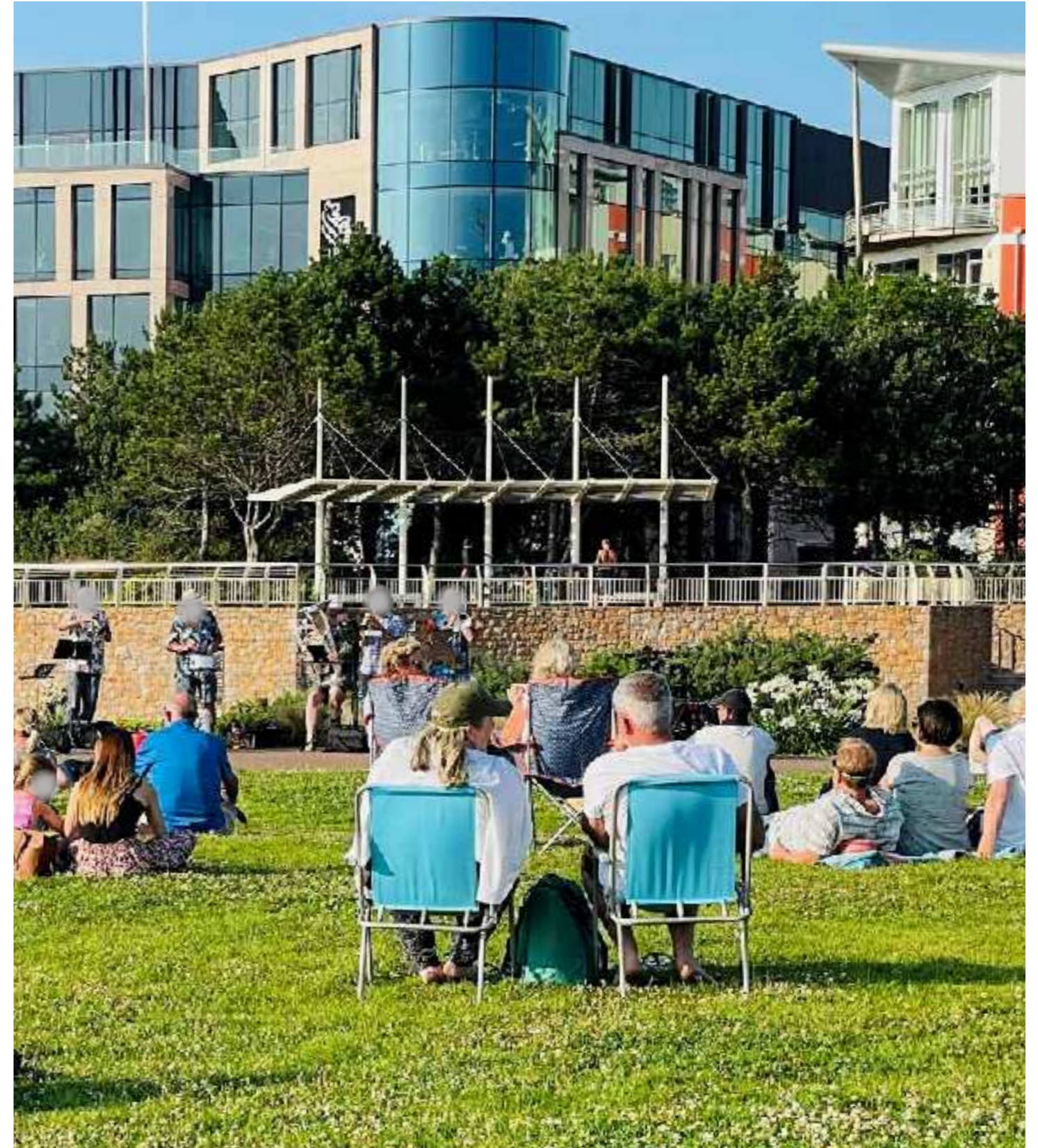


Figure 5.25 'Walk and talk' community event in July 2021

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5.3 Framework Evolution

COMPETITION

The competition concept vision acknowledged Jersey's aspirations to be net zero; a landscape led framework approach that advocated for climate positive outcomes was presented, this looked beyond the current approach of carbon neutral outcomes.

The proposals were people and experiential focused with a multi-layered green infrastructure weaved between and over the programmed public and private realm spaces. Importance was based on climate reliance, adaptation and mitigation measures and creating a meaningful sense of place, which reflected the identity of Jersey, its people and their needs now and for the future

The proposals set out a series of key Framework principles reflecting the SPG and community aspirations. These were reflected in a division of quarters across the site. Park, Mixed use, Waterfront, Commercial, Residential and Leisure Quarters were proposed, each with their own distinct character drawn from St Helier.

The design challenged the site boundary and pushed beyond the existing sea defences to increase the public realm, provide sea level rise defence and new inter-tidal spaces with a fluid ribbon of terraces stepping down to the beach.

Water sensitive urban design was illustrated through large open water gardens, soft and permeable surfaces and planting on the ground floor and across the roofscape.

The concept looked to address the severance of La Route de la Libération with a landscape bridge – extending a linear park from a public square across to a podium landscape space adjacent to the Esplanade.

A green boulevard extended from the Park Quarter through to the Leisure Quarter, connecting streets, squares and pocket residential gardens.

PRE-CONCEPT

At the start of the pre-concept design the competition winning scheme was presented to the Jersey Architecture Commission (JAC). The panel provided initial guidance based on the landscape led proposals and based commentary around 6 C's; Context, Connectivity, Community, Climate, Character and Change.

The JAC challenged the team to question the future of La Route de la Libération and questioned whether a land bridge would resolve the severance of town and waterfront. The Commission also noted development should respond to both carbon neutrality and climate adaptation needs to a key driver and part of the vision.

Further massing studies were requested to be explored to find appropriate scales, profiles and manage links back to town. Other recommended studies included a site constraints plan, sun, shade and wind analysis, sectional analysis of the proposals and town and a wider Jersey traffic circulation study.

The Commission questioned whether the need for 520 car parking spaces as stated in the SPG is still relevant and could the team look to reduce this number and prioritise low carbon means of transport and improved connections instead. The Commission also noted that this design process was taking place during unprecedented times and that through a pandemic the team should look to consult the community in new and innovative ways.

An overarching response from the Commission and key stakeholders in pre-concept was the emergencies of climate change, biodiversity and health. It was reiterated this should headline through all of the proposals developed moving forward.

Following the JAC and other community and key stakeholder workshops in November and December 2020 the Framework concepts were developed with an intensive study of town grain, proposed massing, open space provision and key public realm and built environment use

distribution. An economic study and wider transport study was also completed and shared with the community as part of the consultation process.

The revised Framework proposals included:

- Revised transport layout to incorporate IHE a bus priority lane on Victoria Avenue and a bus gate lane on the Esplanade.
- A revision to the accessibility of the land bridge including a podium winter garden attached with extensive leisure use adjacent to the Esplanade.
- Set backs in the massing along La Route de la Libération to provide cycle and pedestrian paths and planting.
- Hierarchy of streets and dimensions were developed
- More emphasis on sport, leisure and health and well-being. An outdoor pool, MUGA court, fitness trails, rock climbing and skating were all considered.
- The coastal edge was adjusted and a more robust stepping and platforms were proposed.
- Further integration of water quality, water quantity, amenity and biodiversity were weaved into the Framework concept.

Two further JAC meetings were held in January 2021 covering design, economics and transport. The feedback from these sessions recognised a major constraint to the development proposals was severance and a bold gesture needed to be considered, the Commission proposed a pause to re-evaluate transport strategies and a further consideration of mass and scale and the holistic urban design strategy should be taken before freezing the plan.

FEASIBILITY & CONCEPT DESIGN DEVELOPMENT

Following the feedback from the JAC and the community, the design team went back to review the fundamental brief ingredients that drove the design moves of the scheme. A feasibility study was undertaken to explore the town in more detail, traffic options for calming and healing severance, a review of block typologies that could provide linkages and break the walled effect along vehicular routes and further investigation into ownership, servicing and parking.

A series of parameters and key moves were born out of this study to reshape the Framework discussions moving forward; these were:

- Focus on east-west connectivity along La Route de la Libération and Rue de L'etau
- Remove the Central 'Green' Boulevard to rationalise space for other design moves
- Calm and slow La Route de la Libération – route to be improved with interventions to create a 'Boulevard' with central reservation, change of surface, slowing vehicles, change to lighting, additional crossings where possible, wide pavements for cycle and pedestrians and tree lined avenues to both sides of the road
- Rue de L'etau to be broadened for tree lining and wider pavements and include roundabout for servicing and delivery
- Increase setback in the massing along Rue de L'etau
- Review residential unit numbers via a process of incremental additions to mass while maintaining daylight, sunlight and ensuring overshadowing is not detrimental to the future development
- The Square on the waterfront to be designed as a multi-functional space that connects to Les Jardins de la Mer
- Connect the Esplanade back to the waterfront
- Provide visual connections from Trenton Square to the Horizon development and waterfront beyond
- Improve access to Castle Street for pedestrians and cyclists
- Provide varied journeys and connections through the Framework, improving permeability and choice of route where possible
- Leisure Hub to revert to Office with connectivity to Trenton Square and at grade crossings
- The land bridge to be removed and at grade crossings be explored
- Remove vehicular access to the waterfront at the Gloucester Street junction
- Social, community, art, leisure, commercial and residential ground floor distribution to be placed in locations that directly complement and provide activation to the public and private open spaces
- Leisure centre and kids zone to be located adjacent to Marina Gardens with a connection through indoor and

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- outdoor leisure and play
- Marina Gardens included within application and a new major play hub to be integrated
- Art house cinema and gallery space to be included at ground floor on sea facing building
- Leisure to be included with food and beverage on the ground floor on the waterfront south plot.
- Retention of existing coastal sea wall alignment and address sea level rise and flood risks through revetment detail, infilling of slipway, new slipway located to the west of the German casemate. Lift crest levels of walls and lift promenade and park levels up.
- Residential plots sitting past the Gloucester Street alignment to be removed and Les Jardins de la Mer park expanded
- Buffer the Radisson through new built form

The feasibility studies responded to the challenge of dealing with the severance of La Route de la Libération as well as further design changes. Options to de-engineer the road were provided and in consultation with IHE. The revised proposals connected the Esplanade back to the Waterfront and there was a redistribution of public at grade open space with the Leisure Quarter moving adjacent to the Marina Gardens. The concept of La Route de la Libération ‘proceeding through a space’ provided the opportunity to establish squares either side of the road and along the journey from Esplanade to the waterfront.

The application boundary was refined following the revised briefing components. This boundary included Marina Gardens and revised the coastal edge running from the Radisson to West Park.

A revised number of residential units were proposed following review of the massing and distribution. A new total of 1,100 homes were proposed. A new 16 storey residential gateway building with ground floor and roof level public use was proposed at the junction of the Esplanade and La Route de la Libération.

The embedded Framework climate emergency agenda saw the lifting of land and sea wall levels, this also included

relocating the slipway. Key sustainability metrics were used to provide a benchmark for future developed design. An Urban Greening Factor of 0.4 was used as one of the calculators to fix green and blue infrastructure as well as working closely with local ecologists. A Sustainability Framework was also refined with bold targets and design suggestions and will remain a live document throughout all phases of future development.

The land bridge was removed and replaced with a new wider single phase pedestrian crossing on La Route de la Libération with trees, planting and different surface materials to link areas. The perimeter of the development massing was articulated horizontally and vertically with ‘push and pull’ set-backs to create variation along the streets, stepping back the building form to give greater relief for public and private open space use.

Local and International case studies were used to provide examples for similar plot scale. The design team also developed a study of existing town grain, historic fabric, lanes, bookending uses and land parcels.

The building plots developed included height variations of 7 to 10 storeys within KOS 2 and 3 to break up massing and responded to the SPG limits and the height of the Horizon Development under construction. The proposed heights were lower along Rue de L’etau to allow for better sun exposure within the ground floor courtyards. Ground floor storey heights were developed to be typical 5m high, commercial units 6.3m high and the average residential unit was 3.15m high.

Car parking numbers were revised and 0.4 spaces per unit was agreed with IHE. The basement and car parking entries were proposed at three locations, the existing Esplanade ramp, the existing Marina Garden car park entry and a new entry at the end of Rue de L’etau.

The feasibility study provided a number of exciting opportunities and much improved baseline Framework which was then presented back to the community in Stage 2 community consultation as well as GoJ, the JAC and other key stakeholders for workshop discussions.

Improved connections, review of at grade crossings and pedestrian and cycle priority networks were welcomed along with the distribution of open space at ground floor and on the roofscape. A common theme however was the height of massing and the need to see local detail and character shown within the architecture. All comments were collated and reviewed by the team; these comments feed directly into the concept design development for the final outline planning application.

CONCEPT DESIGN – OUTLINE PLANNING

Following discussion and feedback from the community, GoJ and the JAC regarding massing height, the design team made significant changes to the Framework. This included a reduction of the gateway building from 16 to 12 storeys, the commercial buildings remained at 6 storeys while the rest of the Framework massing adjusted from 7-10 down to 5-8 storeys. The reduction in massing height therefore reduced the residential housing numbers from 1100 units to 1001 units.

A significant amount of work was produced by the design team between Stages 2 and 3 community consultation. The design team reviewed each and every comment to ensure they were considered and where appropriate, reflected in the revised proposals.

This included development of the following:

- Reduction in the massing height and providing explanation of key framework massing moves
- Providing a contextual framework of sections and views with existing and proposed development.
- Careful distribution of ground floor uses following the detailed Jersey economic studies
- Active frontage and key built environment entry strategies were established
- Inclusion of shelter, amenity, toilet facilities and cafes distributed in kiosks/pavilions located across the Framework
- Refined transport strategy for parking and traffic data and microsimulation modelling of the development and any impacts on existing vehicular infrastructure.
- Refinement of the vehicular routes within the

development including basement entries and tracking site-wide for fire tender, maintenance and refuse vehicles.

- Refined pedestrian and cycle connections. Cycle priority paths adjusted along Victoria Avenue to follow IHE requests
- Inclusion of a major publicly accessible cycle hub included within the basement under the Central Square
- Short and long stay cycle provision developed further. This exceeds existing standards and provides variation in bicycle types and for all abilities.
- Outline planning definition of open space quantum on the ground floor and on podium
- Tree removal and retentions defined and an extensive review of tree and planting strategies and appropriate palettes through consultation with GoJ Parks and Gardens
- Developed day one tree size strategy and soil requirements for trees above basement or on elevated podium levels.
- Team site visit and analysis of existing town material palettes to refine the public and private realm materials strategy
- Defining a public realm colour strategy based on the St Helier colour palette.
- Development of furniture, signage & wayfinding and lighting strategies
- Pledging to put Children first, the design team developed a detailed play strategy including comments from children about water play and the need for more play in the Framework.
- A detailed sustainable urban drainage strategy was developed. Following the 4 SuDS pillars of water quality, water quantity, amenity and biodiversity, the strategy includes varied landscape typologies on the ground floor, basement podium and roof to provide a sponge and to cleanse attenuated water.
- The urban greening factor was refined to a total score of 0.41, meeting the preferred target. This is to be used as the benchmark for all future development
- A developed roof strategy set out potential accessible and inaccessible biodiverse roofs and recommended MEP plant locations

5. The Framework

5.3 Framework Evolution

- The street hierarchy and character was developed and included illustrating to GoJ planners what various journeys could be for different demographics at different days of the week and times of the day. This also included what the sensory experiences you can have on the waterfront, walking and biking through the streets, squares, gardens and parks.
- Events and cultural strategies were developed to show the potential for all the public spaces
- An art and interpretation strategy defines the public realm canvas for potential future local and international artists briefs in alignment with the Draft Jersey Arts Strategy 2021
- A design intent for the German casemate was developed to restore it to the original form and provide a new programme and life.
- Following the requests for more detail on architecture and the need to see more St Helier character reflected in the proposals, an extensive 'Approach to Architecture' was developed responding to the Urban Design Character Appraisal 2005 and The Urban Design Character Review 2021. This established key design principles, architectural typologies and a kit of parts matrix of architectural elements to use within each typology. Architectural materials and colour palette were also defined further.
- Site-wide management and operations strategies were finalised and discussed with the Parish of St Helier



Figure 5.26 Competition Urban Character Areas (June 2020)



Figure 5.27 Pre-concept Sketch Aerial (December 2020)



Figure 5.28 Feasibility Study (April 2021)



Figure 5.29 Outline Planning Submission (December 2021)

5. The Framework

5.3 Post-Submission Engagement and Framework Evolution

Following the original outline submission the applicant team have continued to engage with the Government of Jersey, the Jersey Architectural Commission (JAC) and key stakeholders in order to further understand policy requirements and comments received and to ensure the proposals address these in full. Further design development has taken place as a result and the amended scheme forms the basis for this addendum submission.

The following pages describe key outcomes from ongoing engagement and the resultant design changes captured within the revised scheme for addendum submission.

SCHEME MASSING, UNIT MIX AND ARCHITECTURE

Since the original outline submission discussions have continued with the GoJ and a further design review took place with the JAC on 26.05.22. A number of changes to the scheme massing and unit mix have been made as a result to ensure that the proposals are compliant with policy and deliver the best possible design outcomes for the Waterfront:

- G1 Massing: The massing of Block G1 has been reviewed and height reduced from 13 storeys to sit within the 8 storey maximum height required by Policy GD7 of the BIP. This reduction has taken place as part of a wholesale design review of G1.
- Rooftop Plant: The BIP includes commentary on rooftop plant enclosures to the effect that these should be considered as an additional storey. As such plant located on roofs where massing extends to 8 storeys has been removed to avoid breaching the 8 storey limit set by Policy GD7. The same issue was identified with 3m height screens to accessible terraces and as a result one accessible terrace has been removed from Block A1 and replaced with biodiverse roof.
- Duplex Units: Concerns were also raised by GoJ about the policy compliance of duplex units with some buildings incorporating 7 storeys plus ground floor duplex and therefore breaching the 8 storey limit. As a result all areas of the scheme which incorporated duplex units with 7 storeys above have been reduced to bring them within the 8 storey limit.



Legend

- Massing - current
- Massing removed since submission
- ▭ Previous building outline at time of submission

Figure 5.30 Addendum massing changes

5. The Framework

5.3 Post-Submission Engagement and Framework Evolution

- 'Taper Down' to Shoreline: The Urban Character Appraisal outlines the negative impact of the existing Radisson Blue Hotel on the setting of Elizabeth Castle whilst Policy HE1 requires protection of listed buildings, places and their settings. This raised concerns that the previous scheme did not demonstrate a sufficient drop in height towards the shoreline. As a result the massing of block B1 and C2 has been reviewed and reduced to create a clear tapering down in height from La Route de la Libération towards the shoreline.
- F1 Massing: F1 massing adjacent to Marina Gardens has been increased by 1 storey whilst remaining beneath the datum established by the adjacent Horizon development and within the 8 storey limit set by policy.
- La Route de la Libération Canyoning Effect: Feedback was provided by the JAC over potential canyoning effect along La Route de la Libération due to continuous frontage of the development along the road. The design team demonstrated that the canyoning effect is a product of the proportions and character of space rather than arbitrary height. Additional information to describe and justify the design approach along the road was presented to GoJ and additional commentary has been added to section 5.6.11 of this document. It was noted by GoJ following the presentation the proposals addressed the aims of the SPG in terms of the design along La Route de la Libération.
- Parkside and Waterfront Architecture: Following feedback regarding the architectural approach to façades in the Parkside and Waterfront areas, the design of blocks B1, C1 and C2 (alongside G1 as above) has undergone a review by Waddington Associates to ensure it is appropriate to the scheme and wider context within St Helier. The outcomes of the design review exercise have been fed back into coding for these buildings and this is captured both within the illustrative material and the for approval parameters and design codes submitted with this addendum.
- Parkside Community Uses: Additional community uses have been added to the ground floor of Block C1 in place of office space to work together with the park and provide an active space that will support the existing community and new residents.

- Affordable Housing: GoJ advised on the requirement for 15% affordable units be provided within the scheme. As a result the DAS includes a commitment to deliver 15% of units within each phase of development as affordable.

TRANSPORT

- Castle Street Roundabout: The design of the roundabout has been further developed by the design team in consultation with IHE to increase the width of pedestrian routes, improve connections to the IFC and enhance cycle connections. Two possible options have been developed by WSP (shown opposite) with the final design subject to detailed design development and Road Safety Audit.
- La Route de la Libération double crossing: The previous scheme incorporated two pedestrian crossings of La Route de la Libération to either side of the Central Square. The secondary crossing to the south was deemed not viable due to proximity to the merging sliproads and so has been removed from the addendum design with the primary crossing to the north retained.
- Bus-gate: The design for the new bus-gate linking the Esplanade to La Route de la Libération has been developed in parallel by IHE and will be subject to a separate detailed application. Design of wider public realm improvements proposed alongside the Waterfront development have been coordinated with the emerging IHE design for the bus-gate as part of the addendum process. The revised design retains the current junction alignment whilst placing greater emphasis on north-south pedestrian and cycle connectivity between the waterfront and the town.
- Cycle Parking: The JAC queried the cycle parking access strategy and the potential to bring cycle parking up to ground floor. This was explored by the team however given the number of cycle spaces required the negative impact on active frontages was considered to be too great to justify this. Instead dedicated cycle lifts linking ground floor lobbies to basement have been included at key locations throughout the scheme.

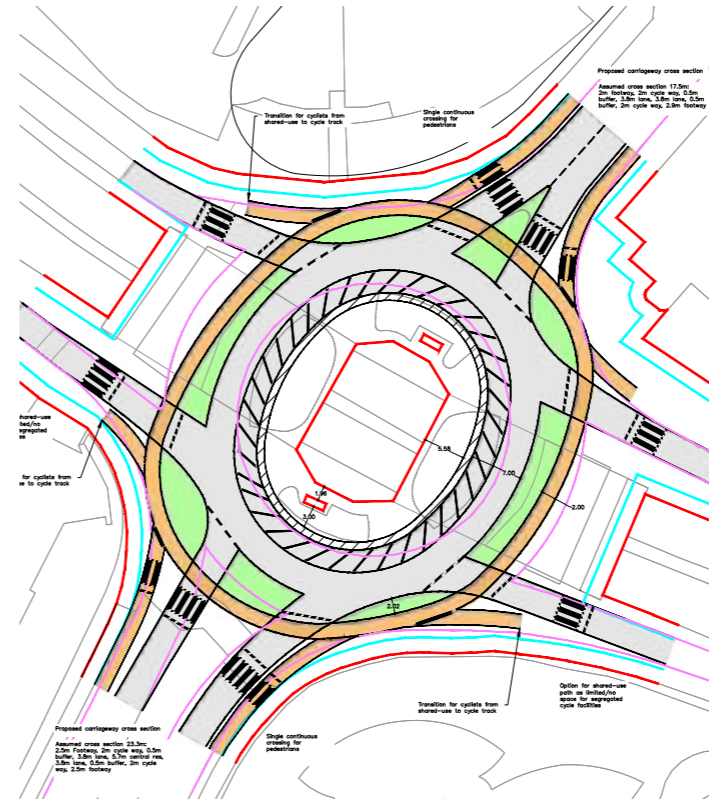


Figure 5.31 Castle Street Roundabout - Option 1

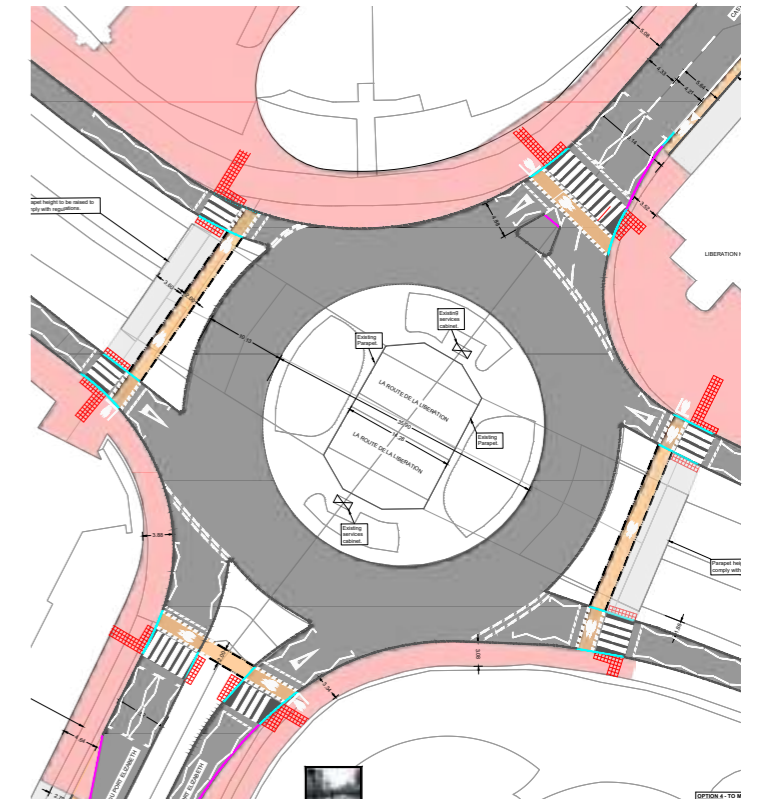


Figure 5.32 Castle Street Roundabout - Option 2



Figure 5.33 Bus-gate proposals - original outline scheme



Figure 5.34 Bus-gate proposals - addendum scheme

5. The Framework

5.3 Post-Submission Engagement and Framework Evolution

HERITAGE

- Esplanade Sea Wall: Following comments received from the GoJ's Historic Environment team, the design team have reviewed the extent of demolition proposed to the listed Esplanade Sea Wall to ensure openings are kept to the minimum required. As a result the main opening at the Central Square has been reduced to 6m (the minimum necessary to align to the new Esplanade crossing and facilitate pedestrian movement) whilst material removed during demolition will be re-used to reduce the existing large opening to the car park to a pedestrian scale entrance to G1. In addition paving details are included to mark the line of the wall at openings and continue the approach used at IFC.
- German Casemate: Additional narrative and design information was requested from the GoJ's Historic Environment team to justify the change in sea wall alignment and land-locking of the listed German Casemate. The necessary raising of the sea wall to mitigate flooding would have resulted in more significant harm to the listed structure had the current alignment been retained and the design team explored a number of options prior to the original outline submission in order to identify the least harmful. The proposed design maintains visibility of the face of the casemate and allows it to be both directly accessed or viewed from the upper level of the promenade. Commentary on the optioneering around the sea wall alignment and additional illustrative sections showing the proposed condition are included in section 5.6.11 of this document.
- La Frégate: La Frégate Café has been awarded Grade 2 listed status. The necessary increase in height of the sea wall means that retaining the structure in its current location would not be feasible and this would also greatly limit the function of the park. It is proposed to relocate the structure to serve as the new ferry kiosk pavilion adjacent to the slipway where it will retain a prominent location on the waterfront and serve an additional use. More design information on this can be found in section 5.6.11 of this document whilst additional commentary on its relocation and reuse is included within the Heritage Statement accompanying this addendum.

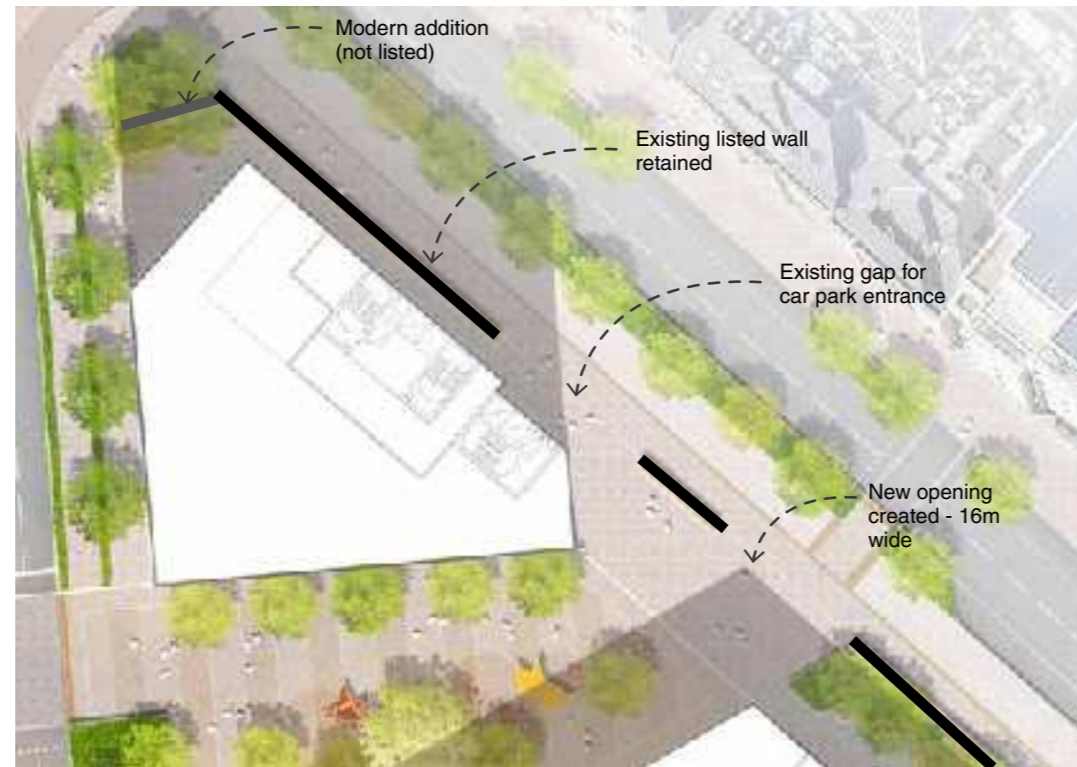


Figure 5.35 Esplanade wall - original outline scheme

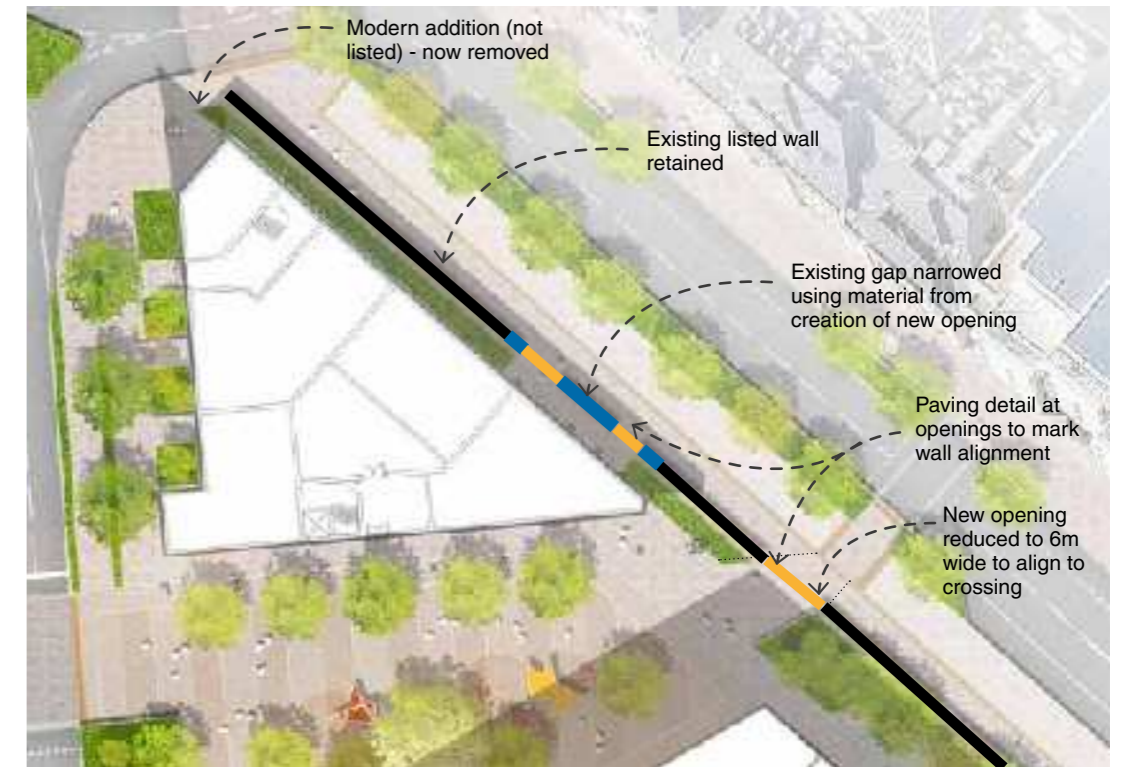


Figure 5.36 Esplanade wall - addendum scheme



Figure 5.37 La Frégate - original outline scheme



Figure 5.38 La Frégate - addendum scheme

5. The Framework

5.3 Post-Submission Engagement and Framework Evolution

WASTE

Subsequent to the original outline submission, the team has explored means of reducing the volume of waste required to be removed from site to facilitate the development. Additional information and commentary can be found within the EIS addendum accompanying this submission. Key areas of exploration and design changes are as follows:

- No-basement option: The team explored the potential to remove the basement from the scheme altogether. The proposed basement houses significant areas of plant room, cycle parking, refuse management and storage as well as car parking which would need to be accommodated elsewhere at grade, along with the associated servicing and access. As a result it was considered that the impact on the scheme in terms of pedestrian and cycle priority, usable open space and active frontages was unacceptable and directly contradicted planning policy and many of the key aspirations for the framework. Additional commentary on the no-basement option can be found within section 6.2 of this document.
- Basement optimisation: The team have optimised the extent of the basement to minimise the volume of waste. Refuse collection has been moved from the basement and brought up to grade to reduce required clearance heights and extent of dig whilst ground floor levels have been reviewed in depth to minimise build-ups and reduce overall depth.

MISCELLANEOUS

- Landscape to F1 Marina Gardens frontage has been revised to provide a more active frontage to F1 leisure use and create a stronger connection between the leisure use and Marina Gardens.
- Simplification of Codes: The Design Codes have been paired back to allow more flexibility in relation to building design and appearance whilst continuing to set out the key principles for the design.
- 'Approval Only' Codes: It was noted that the inclusion

of some illustrative material such as CGIs within the Codes could be misleading and this should be removed. It was subsequently agreed with GoJ that a second 'For Approval' version of the codes would be produced for the addendum submission with all illustrative material removed to sit alongside the updated full version of the Codes.

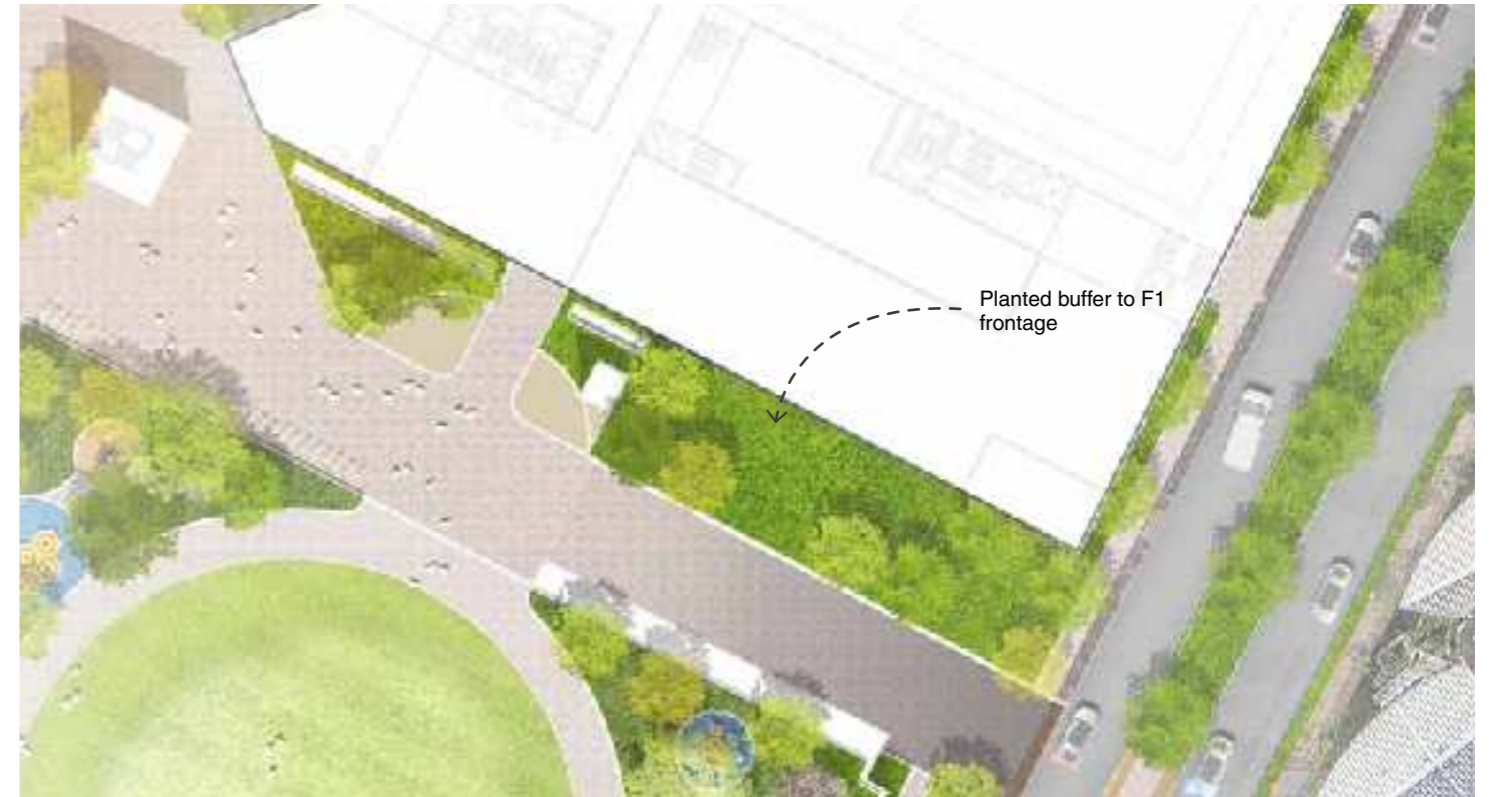


Figure 5.39 F1 frontage - original outline scheme

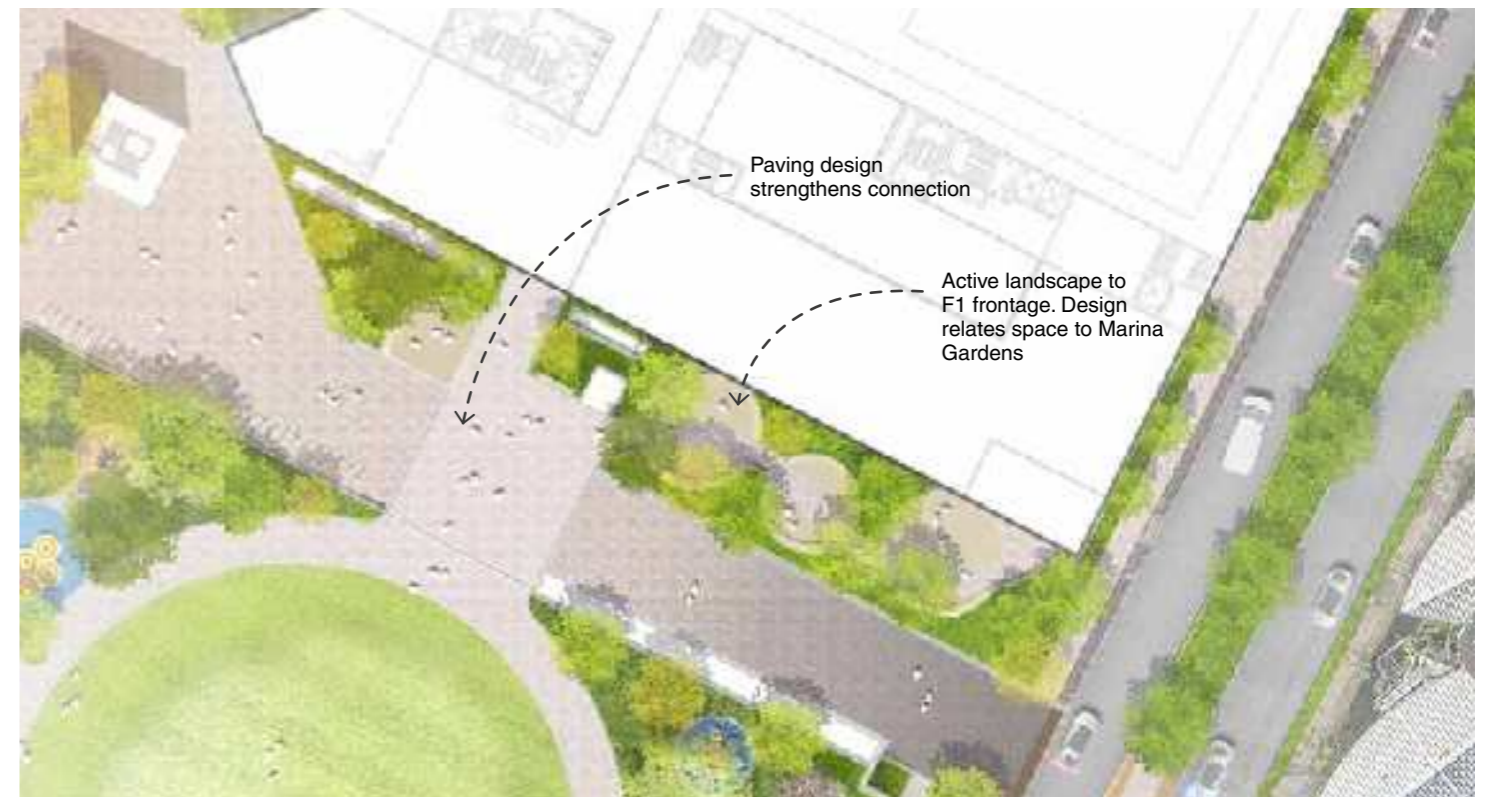


Figure 5.40 F1 frontage - addendum scheme

5. The Framework

5.4 Design Response to Consultation

As set out in the SPG the community engagement strategy must be thorough, engaging and have a direct reflection in the concept proposals developed.

The design team have found the comments provided invaluable throughout all stages of the consultation process. The global pandemic provided challenges for all to engage in the typical manner. An innovative approach through use of technology was required and the patience and thorough comments of those who attended digital sessions, site walks and used the 360 degree panorama CGI's and commenting on online questionnaires has been hugely appreciated.

The team have thoroughly appreciated phone calls and direct emails from locals who have gone out of their way to provide local knowledge, history, stories and recommendations to ensure the waterfront becomes 'of Jersey' and a successful legacy. A summary of commentary can be found in Chapter 4 of this document and further detail within the supplementary planning document 'Statement of Community Consultation'.

The following questions and comments are extracts from the consultation process. The design team provide a response on how the comment has been addressed within the SWSH Visioning Framework.

Q: "Use Pink crystal granite in place wherever possible for walkways. Granite is durable and will not need to be replaced in 100 years. It is also geographically specific to Jersey and used a lot in Jersey Architecture, meaning it is also culturally specific to Jersey."

A: Jersey granite is incredibly special and immediately identifiable. The Framework has a detailed public realm and architectural materials strategy which was developed after walking the streets and documenting the materials, sizes of pavers, textures and finishes. Jersey pink granite is a must have for any future Framework public realm designs. All demolished stone on the current site will be salvaged for reuse within the Framework.

Q: "Flowing water wherever aesthetically and logistically viable. Negatively charged ions found in water can trigger a serotonin release in the brain. This would overall improve the mood of those in the vicinity of flowing water"

A: Sensory experiences are incredibly important in public and private spaces for all abilities to enjoy. This also includes touch, smell, sound and taste. Nature connectedness has sadly been lost globally and this Framework looks to connect all ages with the elements; including water, natural systems and ecology. Water play has been integrated within the Waterfront Square as a skim of water and jets, and within the Park play hub as a stream of running water.

Q: "Need more social and exercise space (walking and Running)"

A: Physical literacy is fundamental to the health and well-being of Jersey residents as set out in 'Inspiring an Active Jersey 2020-2030'. The Framework includes an abundance of leisure opportunities including; improved pedestrian and cycle paths, a Parkrun loop, 3x3 basketball courts, beach volleyball, table tennis, fitness trim trail, open lawn area for sport events and day to day kick around, a 25m outdoor pool, a 25m indoor pool, training pool, kids zone, and 7,352 m² of indoor gym and leisure facilities.

Q: "A park for kids and a play area for them"

A: Putting children first is one of the primary objectives of this Framework. This includes 4,489m² of play spread across the entire Framework; the waterfront is your play space. This includes two major play hubs, water play, natural play within parks, sports facilities, heritage interpretation and play, art and performance spaces within squares and incidental play-on-the-way trails for quirky surprises and moments of discovery.



Figure 5.41 'Walk and talk' community event in July 2021

5. The Framework

5.4 Design Response to Consultation

Q: Can you provide more info on the arts and cultural facilities?

A: St Helier is rich in history and culture providing many opportunities to celebrate and unveil stories through public realm art interventions. The Framework identifies opportunities in which artists briefs could be formed. This includes standalone landmark pieces, façade-integrated art, creative arcades, interpretive signage, lighting, catenary sculpture, trails and demarcated historic lines and stories. The art strategy will align with the draft Jersey Art Strategy 2021.

Q: Why has the sinking of the La Route de la Libération been dismissed in favour of a slow traffic area?

A: Sinking of La Route de la Libération was discounted in the SPG following external review, community consultation and financial feasibility review. As part of this Framework, WSP Transport have completed a Jersey transport review which sets out the wider issues with car usage in Jersey. This Framework aims to address the severance of La Route de la Libération through a single-phase signalised pedestrian crossing as well as provide new and improved pedestrian and cycle connections and a new cycle hub to facilitate a change to low carbon means of transport. If Jersey residents can fundamentally change car usage, the road infrastructure can be de-engineered and more public green space provided in the future.

Q: Are you proposing to demolish the leisure pool?

A: Yes, the existing AquaSplash will be demolished and a new Leisure Centre built. This includes a 25m pool, training pool, flumes slides, kidzone and gym facilities. A 25m outdoor pool will also be located within the new Les Jardins de la Mer.

Q: How does the moving of the slip affect Victoria Lake - will it be improved?

A: The reclamation and new slipway will not extend so far south to impact on the Marine lake. No works to the lake are proposed as part of this Framework.

Q: What are the plans for public toilets?

A: Public toilets and baby changing facilities will be located within the new Ferry kiosk (P1), Pool Pavilion (P2), the Cycle hub and within Marina Gardens kiosk (P4). Art, community and cultural facilities are also located within the framework which will have publically accessible toilets. The existing toilet facilities attached to the German casemate will be removed to restore the casemate. All public toilets will have level thresholds and will be accessible.

Q: Is the winter garden happening? Which spaces are going to be used for the winter?

A: A winter garden is not proposed in the outline planning concept design. The Fort Regent development proposals promote a large and exciting winter garden and the Framework does not want to include competing uses. The Framework includes a varied mix of ground floor uses including, art, culture, community, leisure and food and beverage. These spaces look to complement the existing town and the various future proposals by other developments.

Q: What about the well-loved La Frégate? Can it not be moved to become the ticket office?

A: La Frégate Café has been granted Grade 2 listed status. The cafe cannot be retained in its current location due to the need to raise the sea wall to mitigate flooding. However, it is intended to relocate the structure within the Waterfront scheme to a new location adjacent to the slipway where it will serve a new purpose as the ferry kiosk as well as accommodating a cafe.

Q: Clarity needed on proportion of parking that will be publicly accessible

A: 335 public car parking spaces, 384 residential car parking spaces (maximum), 85 commercial car parking spaces and 283 public motorbike parking spaces are included.

Q: You need to avoid wind canyons between buildings

A: Wind tunnel modelling has been conducted at feasibility design and concept design to review the massing and public realm arrangements. On a coastal site, wind mitigation will be required through architectural and landscape measures as set out in this DAS and the application Design Codes.

Q: Cafes all look to be on the ground floor –any mid/rooftop cafes with outdoor views? (balcony/terrace areas)

A: No upper storey or roof level cafes are currently proposed.

Is there a plan for the underground area to demonstrate the potential excavation of the site?

A: Site waste management plan, basement plans, sections and strategy diagrams are included within this application.



Figure 5.42 'Walk and Talk' consultation day



Figure 5.43 Information signage totems for consultation

5. The Framework

5.4 Design Response to Consultation

The following questions and comments are extracts from the consultation process with other key stakeholders including, but not limited to Government of Jersey departments, Parish of St Helier and local businesses. The design team provide response on how the comment has been addressed within the SWSH Visioning Framework.

Q: "Can the development please ensure there is a path allowed for the Petit train during a phased construction?"

A: During each phase of construction, path access will be allowed off road for Le Petit Train. This has also been noted in the Design Codes as a mandatory requirement. A dedicated stop is provided for the train in the proposed West Park proposals.

Q: "A great place to celebrate Jersey food. Jersey is an Island famous for food. How great would a Jersey Royal, oysters, wine festival be. Design team should consider flexible spaces for markets, events and performance."

A: Food is very important to Jersey and the design team have made a conscious effort to create space to celebrate this. The Waterfront, Central and Esplanade Squares along with the primary street connection have all been sized to accommodate day to day and event mode. Scale studies have tested market stalls, stages and circulation around these. The Lane is also a perfect location for a large community street party. It is imagined long tables could extend the street with local residents joining in an annual summer Fête. Events power has been noted as a requirement in all main public spaces to facilitate such events.

Q: "Can you include Mobility parking on Victoria Avenue close to the beach and wheelchair access storage?"

A: Mobility Parking will be included in the closest parking spaces adjacent to the new Ferry Kiosk in the West Park Town Gateway.

Q: "If possible storage for one beach wheelchair and accessible changing facilities. Storage with a code and a pre booking system."

A: Beach wheelchair storage and changing facilities are noted in the Design Code brief for the future Ferry Kiosk (P1)

Q: "A cinema of some form must remain on the waterfront" The SWSH Visioning framework should consider flexible gallery space – less traditional. Something that can cross pollinate with other events and sport. "

A: An art house cinema is proposed in Plot A1 fronting the Central Square. 2,168m² of Art, culture and community space is located in the ground floor. The brief for this use will align with the requirements of the Jersey Art Strategy and in coordination with key stakeholders.

Q: "If car parking is being kept underground this will enable greenspace to be increased by removing at grade parking spaces"

A: All public and private parking will be located in the basement with the exception of layby's for temporary refuse and delivery use. It is the design intent to provide the new and existing community sufficient open space for programmed use, connections and green and blue infrastructure for water management and biodiversity.

Q: "The Design team needs to put in place in the Framework strategies to clean the façade of the building without the necessity for external equipment which must be operated from the roadway"

A: The streetscape dimensions have been sized to accommodate MEWP access and allow for BMU cradle drop zones. Façade access and cleaning may vary depending on plot and can include BMU, Davit arm and abseil access and reversible windows. There are no requirements to provide access from Parish of St Helier or IHE road infrastructure.

Q: "The proposal should have a gateway. Especially arriving into St Helier along Victoria Avenue. The new park could be that gateway marker."

A: The proposal provides a series of gateway markers from the western and eastern entries into St Helier. This includes

art, pavilions and parkland as well as larger architectural markers including the apex building (G1), the park (C2) and the contemporary leisure building (F1). The design intent is to provide a sense of arrival which is 'of St Helier' and memorable. Key to this arrival is a sense of sustainability, biodiversity and the excitement of the waterfront experiences that await.

Avoid UK standard trees – these will get bleached or burnt on the Waterfront in St Helier. Look for local species that provide great wind shelter, provide seasonal variation and provide fruit for fauna."

A: The design team has appreciated the local knowledge provided by the GoJ Parks and Gardens department. A coordinated and collaborative list of trees and plant species is proposed and forms the baseline palette and design intent information for future designers to develop. All plants are analysed for their biodiversity offer, appropriateness of location, and climate resilience.

Q: "A green bridge crossing should be reconsidered and at grade crossing be explored"

A: Although a bridge was noted as a consideration in the SPG this was removed from the SWSH Visioning Framework as GoJ and the JAC challenged its viability and whether it addressed the transport usage, climate emergency and severance issues. At grade single-phase crossings are provided at Gloucester Street and between the Central and Esplanade Squares. A zebra crossing is provided at the Castle Street Junction

Q: "There may be an opportunity to consider creating "car free" times by closing off Rue de L'etau to vehicles during set times? Although access would still need to be provided for those with designated access to car parking."

A: Through coordination with the Parish of St Helier road closures on Rue de L'etau may be possible in the future for events. Similar examples have been adopted in the UK for play streets, street parties and other major events.

Q: "How would rough sleeping or antisocial behaviour be considered in the public realm?"

A: While it is a wider societal and social issue to make changes and provide assistance to anyone sleeping rough, consideration of passive deterrents for rough sleeping should be considered in detailed designs including placement of armrests on benches. Skate deterrents should be integrated into paving materials and street furniture to prevent anti-social behaviour.

Q: "Bicycle theft is more prevalent than vehicle theft. Consider location of stands, passive surveillance and CCTV in future designs"

A: Short stay bike stands are located opposite active ground floor uses for passive surveillance. CCTV will be required to cover all areas of the Framework in coordination with States of Jersey Police. Secure bike stores are located in the basement for resident use and a public and managed cycle hub is located below the Central Square.

Q: "There needs to be clear delineation between roadways and pavements and careful thought needs to take into consideration disabled users especially those with visibility impairment"

A: All road carriageways will be delineated with a clear change in surface material to pedestrian and cycle paths. Upstand kerbs of a different tone will define edges along with rain garden planting. Tactile paving should be located at all crossings. No shared surfaces are proposed in the Framework.

Q: "Ownership of public realm areas and maintenance needs to be clearly defined between JDC, Parish of St Helier and IHE."

A: Parish of St Helier (PoSH) will maintain Rue de L'etau, while IHE will maintain Victoria Avenue, La Route de la Libération and the Esplanade. JDC will maintain all public and private realm outside of IHE and PoSH zones. Both IHE and PoSH will require access to the Framework for refuse and key asset checks and this has been facilitated in the managed access of the pedestrian priority streetscape.

5. The Framework

5.5 Jersey Architecture Commission

SWSH Visioning Framework is a major project for Saint Helier and Jersey. Projects of significance are required to meet with the Jersey Architecture Commission. The Commission work with the planning service as well as with agents and developers to promote and support the Minister's aspiration for the highest possible standards of design in the built environment.

The Jersey Architecture Commission is an advisory group to provide independent, expert advice and guidance for projects in Jersey.

The Framework Design Consortium and JDC met with the Jersey Architecture Commission five times during the planning design period. These meetings aligned with key project milestones. This included a meeting at the beginning of the project to review the brief and the winning landscape led competition design, a meeting on Transport and Economics and meetings following Stages 1, 2 and 3 of community engagement. A sixth JAC meeting took place between the original addendum submission and the addendum submission.

The application team found these meetings insightful and it has helped shaped the proposals found within this Design and Access Statement.

The following page provides commentary on some of the key issues raised by the Jersey Architecture Commission. This is not an exhaustive list, but a selection of the issues discussed. Under each item we have described how the project team responded to the feedback. Where relevant we have made reference to a section of the Design and Access Statement that provides more detail on this area of the development proposals.

Q: "Does St Helier need 525 public car parking spaces?"

A: This SPG requests 520 public car parking spaces. The Framework provides 335 public car parking spaces, 384 residential car parking spaces (maximum), 85 commercial car parking spaces and 283 public motorbike parking spaces. The reduction in public car parking should be read in conjunction with IHE initiatives outside of this application boundary as well as the government's Sustainable Transport Strategy and SPG. Reduction in parking has provided the

opportunity for less excavated waste from the site.

Q: "Dwelling mix - child density resulting from 1,100 flats can be calculated to inform the need for and distribution of play areas and creche facilities needing outdoor space"

A: The GLA child yield calculator has been used to calculate the child yield and the play distribution for 0-4, 5-11 and 12-18 years old. 1,830m² of play is required using this calculator and this has been checked against the SPG which requires 2,002m². However the as designed intent is 9,899m² of varied typologies of play for all ages and abilities. A nursery is located in Plot D2.

Q: "15m high trees - technical issues need elaboration to ensure delivery of the aspiration"

A: The tree size strategy notes large, medium and small 'day one' sizes of tree and the estimated girth of these. Large and medium trees are distributed to provide first and second line of defence while smaller trees form the understorey and can also be found in courtyards and elevated podiums. Sufficient soil volume, aeration, nutrients and irrigation are required and have been allowed for in the build-up above basement. Refer to 5.7.14 for further information.

Q: "Public Art provision - a strategy needed"

A: Percentage for Art contribution is agreed between the developer and the planning officer based on 1% of the total construction cost of the development. The design team has been involved in workshops with the draft Jersey Arts Strategy and consulted with ArtHouse Jersey also. A strategy has been established to provide opportunity for artists briefs in each phase of development. Refer 5.7.28 Art Strategy

Q: "Tracking the targets set for of key metrics whether of greening, energy, rents, values, occupancy etc. will enable adjustments to lessons learned"

A: Within the Design Code documents mandatory sustainability requirements are built in. This includes the requirement for ongoing use of a Sustainability Framework, a biodiversity net gain calculator and the Urban Greening Factory calculator. Benchmarks have been set in the

outline design that are expected to be continued through each phase of development.

Q: "The scheme has lost the sea and beach connections both functionally and visually given the extent of sea defences required and the relocated slipway"

A: Incorrect. The sea wall has been lifted approximately 1.2m along with the promenade levels. Views over the wall are as they would be in the current situation. Two stairs are provided from the promenade to the stepped revetment as currently located. A new slipway is provided west of the German casemate. This improves accessibility to the beach with a dedicated footpath. BeachAbility, the beach access group are provided with a beach wheelchair store and changing area within the Ferry kiosk (P1).

Q: "Porosity of the design intent remains an issue"

A: The SWSH Visioning Framework is incredibly permeable. This includes permeable surfaces, rain gardens, bio-retention swales, intensive and extensive roofs and above basement attenuation. As mentioned previously the Framework exemplifies water sensitive urban design, ensuring water is cleansed and stored, gardens provide amenity, biodiversity and education on the processes of the network are located on signage and QR codes to website info. Refer 5.7.22 SuDS Strategy

Q: "Flooding will be an increasingly serious issue with climate change. The lateral flow around the lifted Waterfront front needs addressing along with flash flooding in the town following the topography and entering the northern side of the site"

A: A fundamental brief requirement is the protection of the waterfront and the south-west St Helier from sea level rise and flooding. The lifting of the sea wall, plus secondary defences and the sustainable drainage and attenuation network will provide future proofing. Additional protection is required along Victoria Avenue west of the development and this is being developed by IHE.

Q: "Could denser figure plans reduce height"

A: This was tested, but this requires urban sprawl on the waterfront and extends below ground infrastructure into existing park spaces which is unacceptable. To meet a target of circa 1000 residential units, distribution of massing would be required within existing open space. Public and private open spaces would also become very small and unusable when providing offsets for pedestrian paths, fire tender access and defensible planting and a gesture of openness at the waterfront would be lost. It was agreed with the GoJ that no built form would be included past the Gloucester Street Junction alignment which the design team and JDC fundamentally agree with.

Q: "impacts and scale of future refuse disposal and recycling demands a below ground lift out large bin facility would appear to be worthy of exploration"

A: This has been considered but for the foreseeable future this infrastructure is not desired by the Parish of St Helier, the governing authority responsible for refuse collection. The outline design has ensured that there is space for this to be included along Rue de Letau should this change. The refuse strategy is set out in Chapter 6 of this DAS and within the Operation Waste Management Strategy.

Q: "Are there small commercial spaces to support start-ups to populate at the early stages of the scheme and give it life"

A: Yes, refer 5.7.4 land use. Flexible working spaces are available as well as flexible community space. Smaller pockets of retail and food and beverage are also located across the Framework for local tenants.

Q: "Where are the aspirations to use recycled materials, salvage material and materials with low embodied carbon as a message of change"

A: This can be found throughout the DAS, Design Codes and Sustainability Report. The development will align with GoJ net zero road map. All site stone will be salvage for reuse on site. Materials should be locally or Europe sourced as set out in the codes. Low embodied carbon is also a fundamental requirement. No single use plastic products or construction packaging will be accepted in the development.

5. The Framework

5.6 Framework Concept

5.6.1 Key Framework Moves

The Southwest St Helier Framework design has been driven by the aim to achieve a diverse, vibrant, permeable and well-connected development immersed in high-quality public realm.

Building heights have been tapered to ensure good solar to amenity spaces and create a sense of human scale. Lessons learnt from the analysis of St Helier urban fabric have informed massing rhythms and the choice of architectural typologies and detail.

Figure 5.44 illustrates the approach to the individual parcel massing, while the following pages describe the 16 conceptual steps which shaped the final Framework layout.

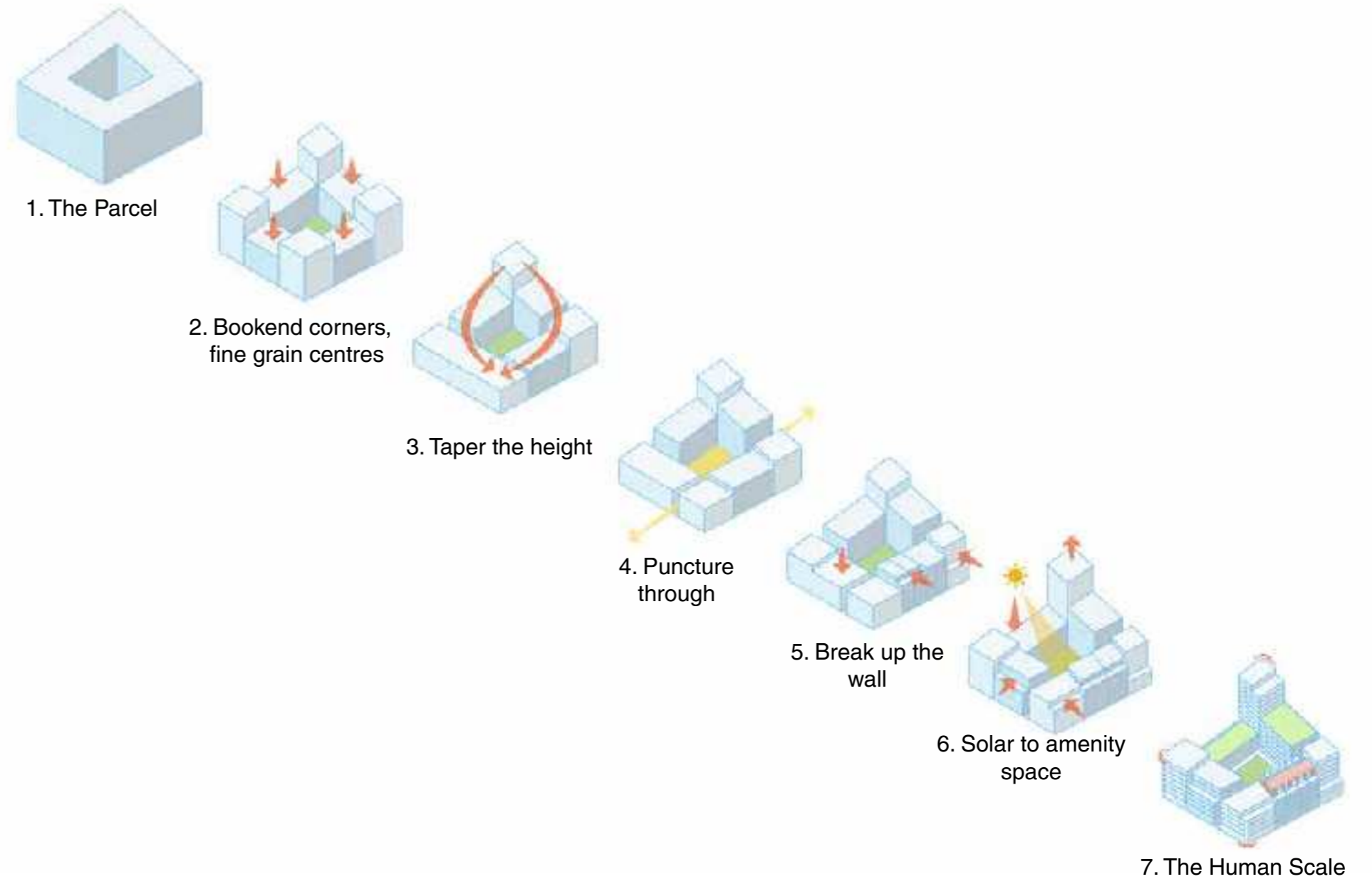


Figure 5.44 Diagram illustrating the approach to massing within each plot

5. The Framework

5.6 Framework Concept

5.6.1 Key Framework Moves

STEP 1 - UNDERSTANDING THE SITE

A fundamental principle of the Framework along with meeting the GoJ requirements on residential unit provision and introducing new focal points on the Waterfront is to improve connectivity and permeability to the surrounding area. La Route de la Libération is seen as one of the main barriers to achieving good connectivity between the harbours, the Waterfront and town centre and this issue needs to be addressed through design.

STEP 2 - KEY AXIS

Introducing a number of key axis, which will serve as physical connections or visual corridors include;

- Esplanade to the Waterfront
- Visual connections from The Esplanade, Trenton Square to Horizon to ensuring layering of mass and building styles
- Castle St roundabout to the corner of the Marina Gardens
- Continuing Rue de L'etau to the Waterfront.

STEP 3 - PROCESSION THROUGH A SPACE

A relief in massing along La Route de la Libération ensures the development does not turn its back to the road. This relief also encourages vehicle users to slow through this portion of the road. The provision of a sequence of public civic spaces along this main pedestrian axis to the waterfront helps shape distinctive character areas. A safe pedestrian crossing on La Route de la Libération and traffic calming measures are to be introduced to improve pedestrian and cycle accessibility of the new development.

STEP 4 - PERIMETER BLOCKS

The parcels are defined by the key axis. The development was split into perimeter parcels in order to optimise densities and allow for generous amenity space sheltered from the adjacent streets and roads.



Figure 5.45 Step 1. Understanding the site

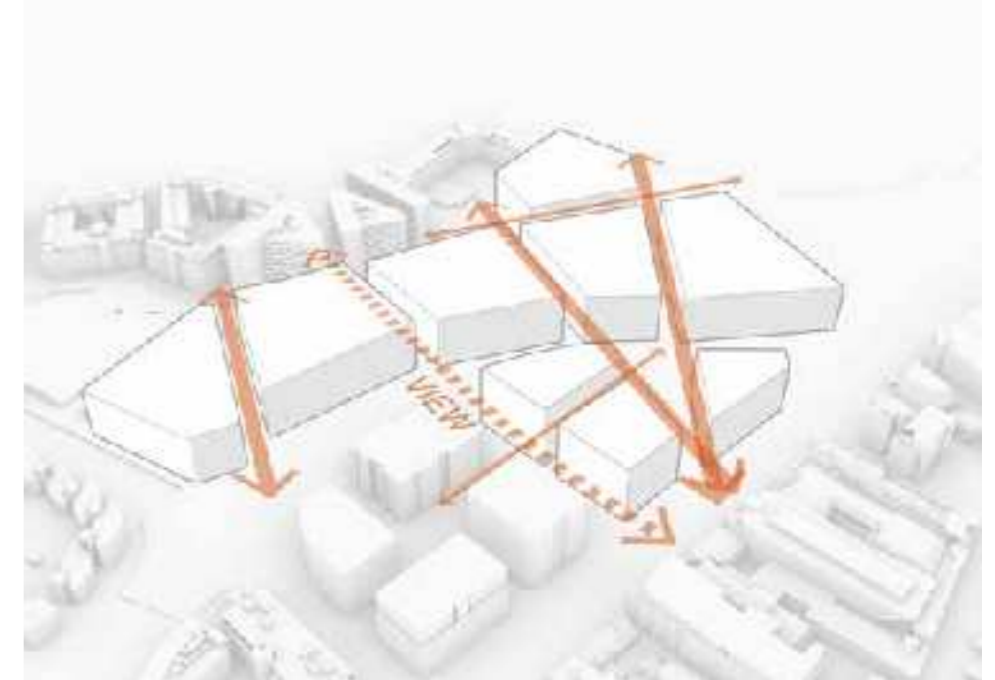


Figure 5.46 Step 2. Key axis



Figure 5.47 Step 3. Procession through the space

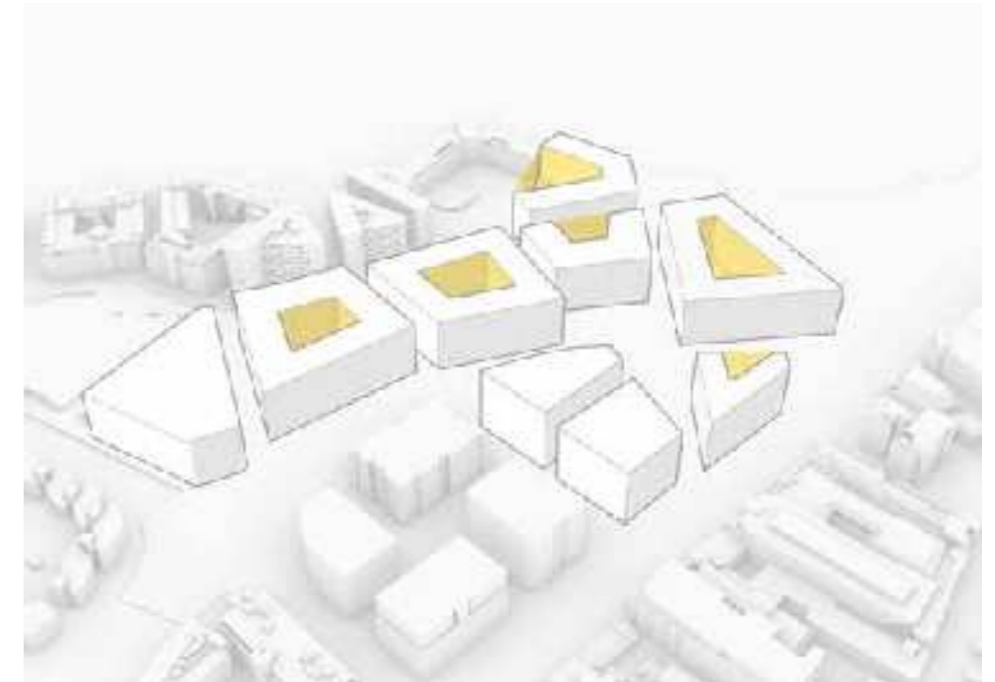


Figure 5.48 Step 4. Perimeter blocks

5. The Framework

5.6 Framework Concept

5.6.1 Key Framework Moves

STEP 5 - THE LANE

The Framework introduces a linear tertiary route through the parcels with a park destination to further break down the development mass, allow for variation of the built form (C-shaped plots and linear plots) and ensure better site permeability with an additional pedestrian and cycle connection protected from the wind.

STEP 6 - GENERAL HEIGHTS

The Framework sets the development at a maximum of 8 storeys in height in line with the St Helier Urban Character Appraisal and BIP. Feedback received through the community and stakeholder engagement sessions has ensured the development of framework massing does not break the 8 storeys ceiling.

STEP 7 - SOLAR

Lowering the development along Rue de L'etau, including the side arms of the plots to 5-6 storeys in height to ensure better solar exposure to the courtyards and public spaces.

STEP 8 - 'PUSH AND PULL'

'Pushing and pulling' the development mass horizontally and vertically along La Route de la Libération and the Waterfront, this introduces variation and ensures a sense of human scale.

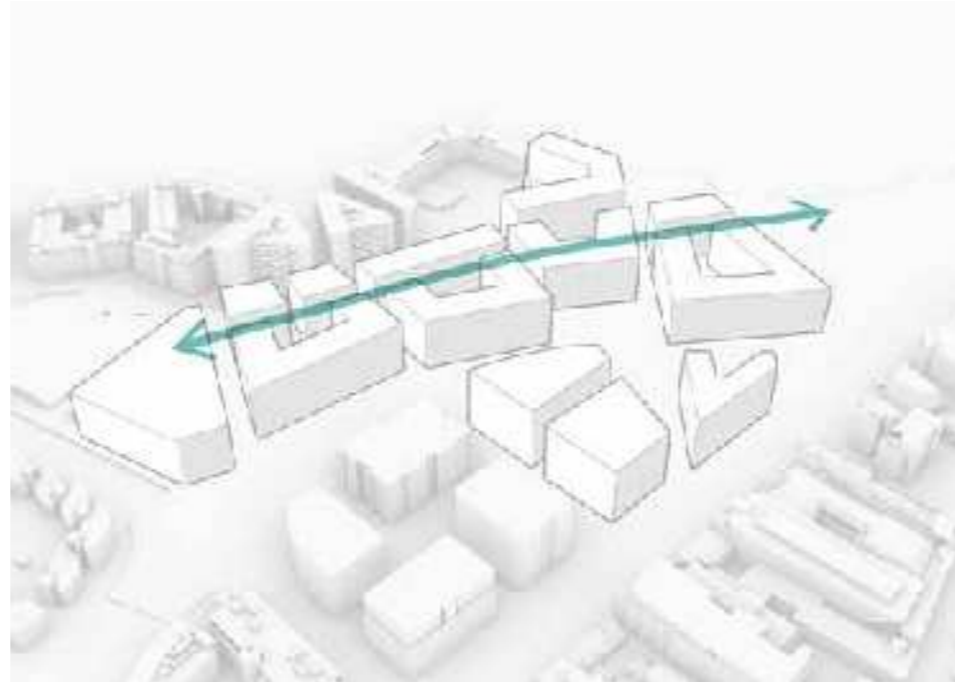


Figure 5.49 Step 5. The Lane

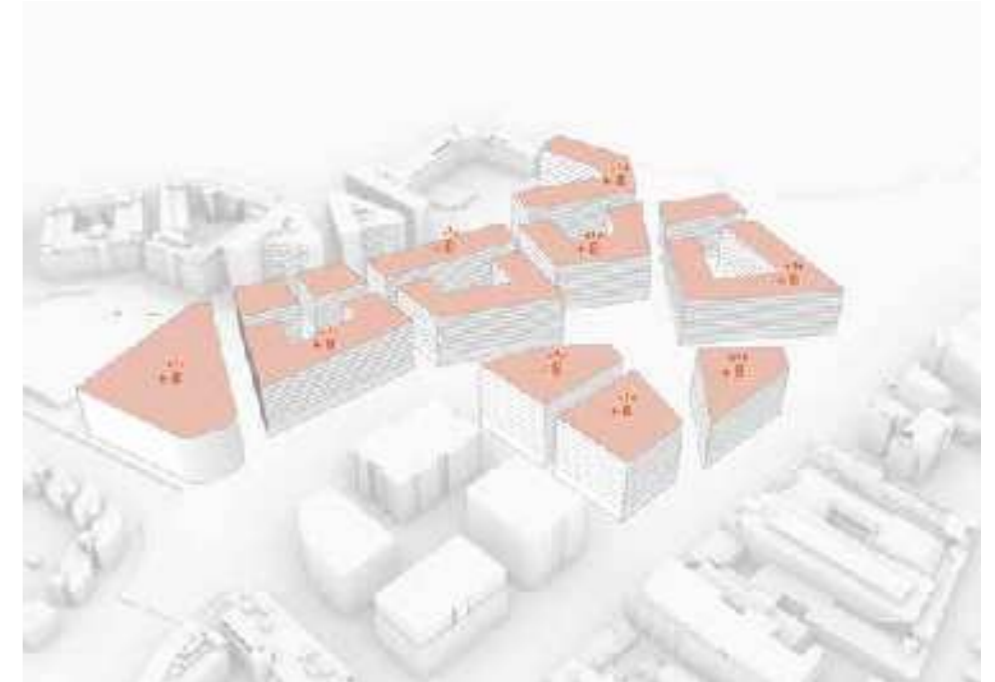


Figure 5.50 Step 6. General height of 8 storeys

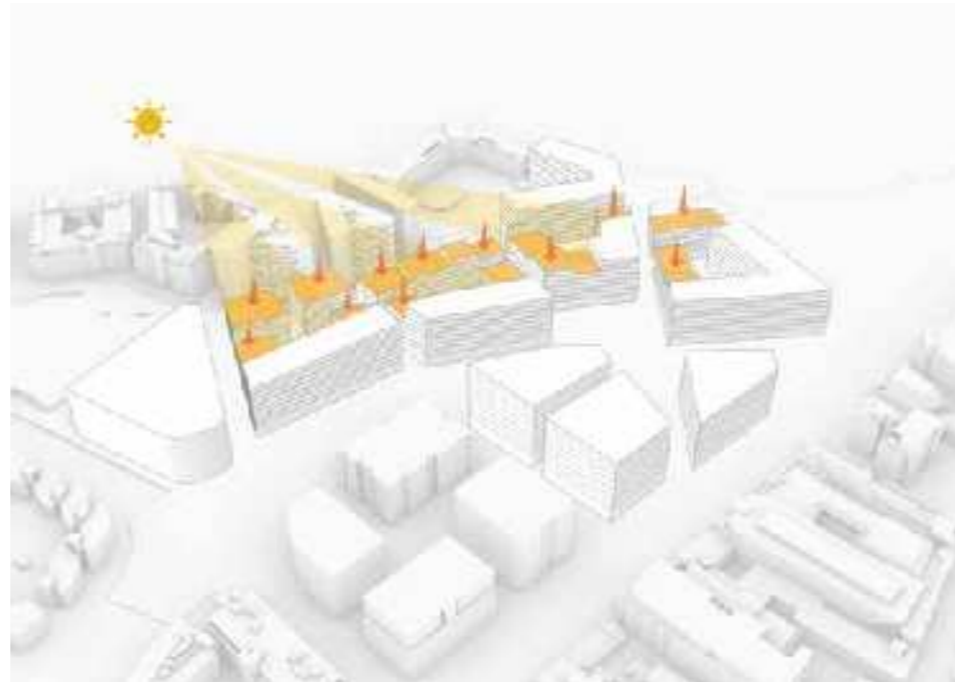


Figure 5.51 Step 7. Solar. Reducing the massing to allow for better solar aspect

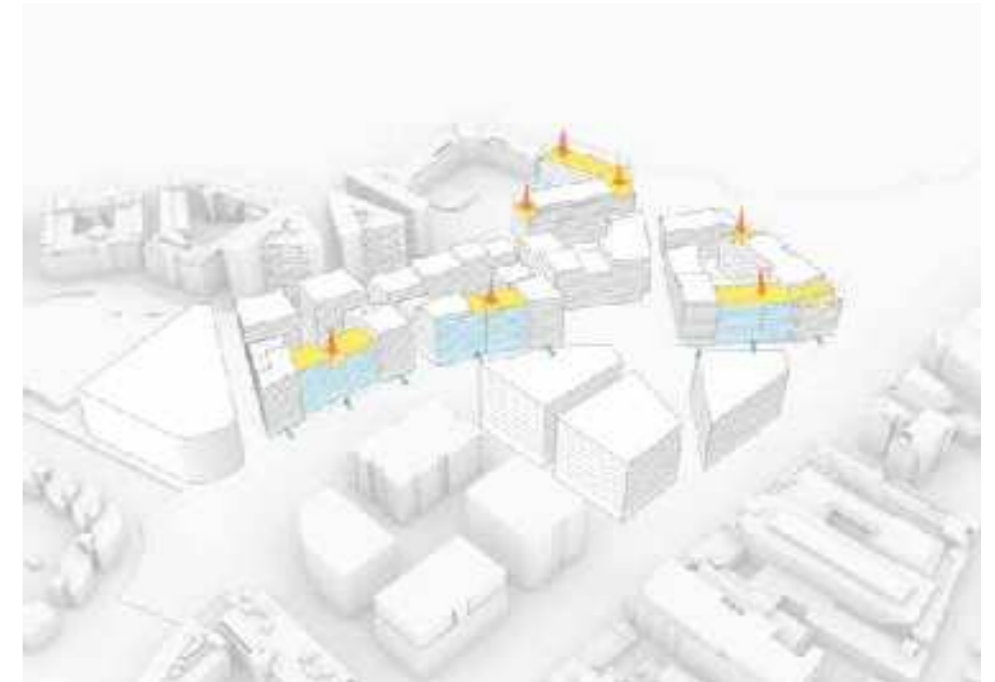


Figure 5.52 Step 8. 'Push and pull' to ensure human scale

5. The Framework

5.6 Framework Concept

5.6.1 Key Framework Moves

STEP 9 - BOOKENDS

Bookending the development with a taller mass (within the 8 storeys ceiling) on the corners of the parcels creates a physical connection back to Horizon. This move was also informed by the analysis of the historic urban fabric of St Helier where corner elements of parcels are typically bookended.

STEP 10 - COMMERCIAL QUARTER

The Commercial Quarter massing aligns with IFC and continues the same language.

STEP 11 - APEX

The G1 Apex is intended to be a special gem of a building to act as a marker to the site and St Helier. This is in line with the SPG recommendations to mark the arrival point to St Helier, add visual interest to the skyline and frame the view towards Fort Regent.

STEP 12 - LEISURE CENTRE

The Leisure Centre is intended to create a second focal point on La Route de la Libération and provide an attractive frontage to the Castle Street Roundabout. The residential component of this block will work together with Castle Quay to frame Marina Gardens.



Figure 5.53 Step 9. Bookmarking the corners of the parcels



Figure 5.54 Step 10. Commercial Quarter continuing the IFC language



Figure 5.55 Step 11. Apex building



Figure 5.56 Step 12. The Leisure building

5. The Framework

5.6 Framework Concept

5.6.1 Key Framework Moves

STEP 13 - PARK FRONTAGE

The development facing Les Jardins de la Mer will become a new face of the town. Its massing needs to work seamlessly with the development along the Esplanade reflecting its proportion and heights and working in composition with the Apex building.

STEP 14 - WATERFRONT

The framework massing tapers down in height towards the waterfront and the Radisson Blue Hotel to respond to the setting of the Elizabeth Castle in line with policy requirements.

STEP 15- THE SQUARE FRONTAGE

The building fronting the Central Square should have special emphasis and be a focal point directly in conversation with the Central Square.

MAXIMUM BUILDING ENVELOPE

The development mass has also been influenced by its surroundings and the analysis of the historic urban fabric. Careful consideration has been given to the views towards and from Elizabeth Castle, the historic harbours, Fort Regent and across the bay towards Noirmont headland.

The maximum building envelope (Figure 5.60) includes technical floors, core overruns, roof plant, amenity terraces and wind screens heights.

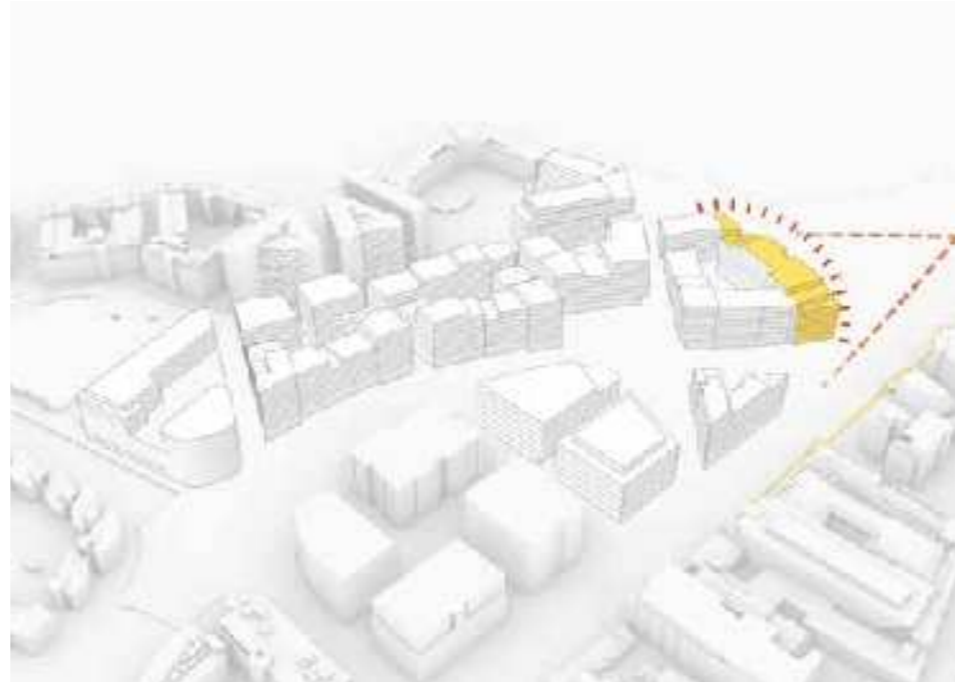


Figure 5.57 Step 13. Park frontage

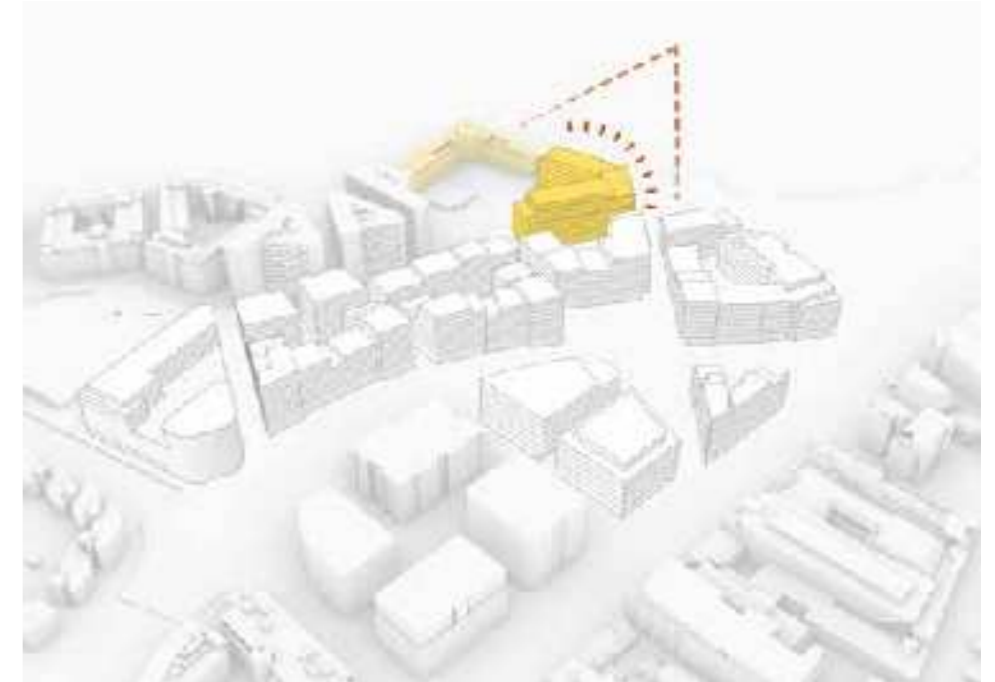


Figure 5.58 Step 14. The Waterfront



Figure 5.59 Step 15. The Square

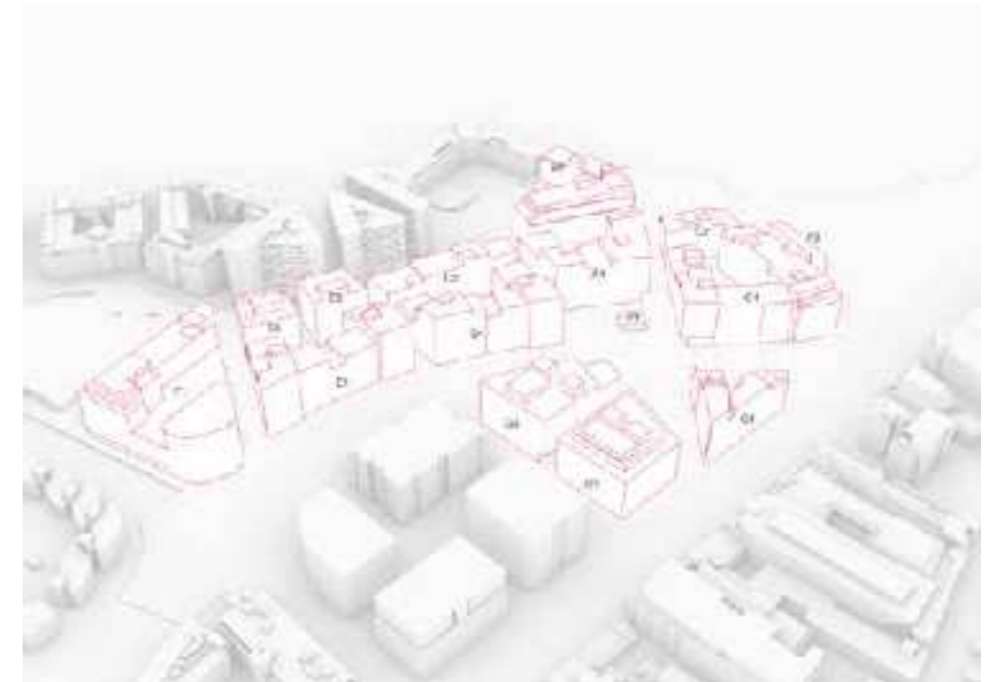


Figure 5.60 Maximum building envelope

5. The Framework

5.6 Framework Concept

5.6.2 Framework Summary

The summary framework diagram (Figure 5.61) illustrates the below key design principles adopted by the Framework:

- La Route de la Libération should be a part of the experience of the Framework and not seen as an arterial road. With initiatives in place to target a reduction in private car ownership and useage, it is envisaged the road can be downgraded and additional public realm provided overtime.
- La Route de la Libération and Rue de L'etau should be designed as vibrant pedestrian and cycle routes with active frontages, trees and places to sit
- Create a central civic core on either side of La Route de la Libération
- The Central Square and the Esplanade Square should draw people through a succession of experiences from the Esplanade to the Waterfront
- Rue de L'etau should be continued to the Waterfront and terminate at a public space
- Create a new pedestrian axis running from the Esplanade to the Waterfront.
- Provide additional pedestrian links to the Horizon, Radisson Blu roundabout and Castle Street junction to improve pedestrian and cycle connectivity
- Introduce a linear tertiary route through the parcels; the Lane is an intimate scale experience that feels local, somewhere for hopscotch or a neighbourhood street party
- C-shaped plots along La Route de la Libération with architectural articulation and archways to avoid creating a 'wall' of massing
- Create a series of destinations/ points of attractions dotted along the Framework
- Extend the promenade and introduce a range of new programmed amenities for public benefit

Legend














	Site boundary		Slow traffic area
	Parcels		Crossings
	Public realm		Key destinations/ attractions
	Key open spaces		Apex building
	Community space		Key routes
	Public parks/ gardens		Important connections/axis
	Arcades		Waterfront promenade



Figure 5.61 Framework summary diagram

5. The Framework

5.6 Framework Concept

5.6.3 Contextual Framework

In realising a landscape-led framework, the structure of open space within the Framework has been critical. The Framework is a multi-layered and multi-functional open space network comprised of a revived park quarter and urban waterfront quarter. The design provides formal and informal public green spaces, ecological environments, recreational and play spaces, connectivity links, sports pitches and water corridors.

The landscape and public realm vision for this prestigious development is founded on providing an accessible, sustainable and characterful setting which works in sync with the design of the proposed architecture, existing built form and local architectural and cultural vernacular.

One of the principal aims of the landscape framework is to restore connections to the waterfront while creating a range of external spaces that invites users to dwell along the waterfront while complementing the use of the proposed buildings. The proposal improves connections to the wider area, by providing engaging, legible and freely accessible public spaces that are largely pedestrian only spaces.

An improved Esplanade frontage connects back to town and draws users down a new green spine towards the waterfront. Equally, a sheltered lane offers an alternative route through the site and connects the park back to the leisure centre.

The re-imagined Les Jardins de la Mer has been reconfigured to optimise programming and promenading. New public uses such as courts and a lido ensure this is a place for the entire island to enjoy and love.



Figure 5.62 Illustrative Framework Plan

Legend

— Planning Application Boundary

A1 Plot index

5. The Framework

5.6 Framework Concept

5.6.3 Contextual Framework

BUILT ENVIRONMENT ZONES

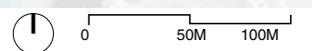
St Helier’s waterfront will be transformed into a vibrant, energetic community asset anchored by new destinations. The site will be subdivided into several urban zones largely based on the predominant land use and architectural strategies applied.

Unique architectural, public realm and landscape design, varied density distribution and street topologies will shape the following distinct identities for every zone;

- Zone 1: Mixed-use**
 The Mixed-Use area will become a central hub within the new waterfront community. It will be an inviting place with a multifunctional town square at it’s heart surrounded by cafés, craft shops, maker spaces and community facilities with residential units above.
- Zone 2: Residential**
 The Residential Quarter will form a quieter and more tranquil part of the development. It will comprise residential plots with green courtyards connected by a pedestrian lane from Les Jardins de La Mer to the new Leisure Centre in the southern end of the development.
- Zone 3: Leisure Zone**
 This area will include a landmark Leisure Centre building with the swimming pool, gym and Kids Zone facilities replacing Aqua Splash and residential units on the upper floors. The new leisure facilities will work in synergy with the redeveloped Marina Gardens.
- Zone 4: Apex**
 This parcel located on Key Opportunity Site 1 on the northern side of La Route de la Libération, in line with the SPG opportunities, will accommodate a special apex building ‘bookending’ the entrance’ to St Helier with community and arts uses on the ground floor. This signature plot aspires to create a sense of arrival.
- Zone 5: Commercial Quarter**
 This area will be comprised of two office plots that will extend and complement the existing IFC and dovetail into the town square and gateway.



Figure 5.63 Built Environment Zones



5. The Framework

5.6 Framework Concept

5.6.3 Contextual Framework

MASSING

Building heights and overall massing consider careful distribution of density and align with the commitments set out within the SPG and Urban Character Appraisal.

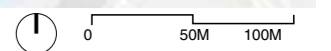
The project has an ambitious goal to accommodate approximately 1,000 new homes, as well as cultural and leisure facilities, public realm, and other complementary uses. Yet, it should consider the 'human scale' and the surrounding natural settings as core design drivers.

Overall the building heights will be capped at a maximum of 8 storeys in line with the Urban Character Appraisal recommendations and planning policy.

The design team have worked through the development massing, taking on board the comments received from GoJ Planning Department, GoJ Policy Team, Jersey Architectural Commission, as well as feedback from the Stage 1, 2 and 3 Stakeholder and Community Engagement to consolidate and redistribute height.



Figure 5.64 Development Heights Diagram (excludes balustrade extent but includes plant enclosure)



Legend

- Site boundary
- 1-3 Storeys
- 4 Storeys
- 5 Storeys
- 6 Storeys
- 7 Storeys
- 8 Storeys
- 9 Storeys
- 10 Storeys
- 11 Storeys

5. The Framework

5.6 Framework Concept

5.6.3 Contextual Framework



Figure 5.65 Development Heights Axonometric View (excludes balustrade extent but includes plant enclosure)

5. The Framework

5.6 Framework Concept

5.6.3 Contextual Framework

PROTECTING VIEWS TO THE FORT REGENT DOME AND CREST

A series of long sections were carried out to assess the Framework's massing in relation to topography, gradation of massing across the town and long range views to iconic parts features, such as Fort Regent.

As seen in the wider sections and the view from the Esplanade, the proposed heights of up to 8 storeys are not 'alien' to the town and fit comfortably into the existing context of the Esplanade with the emerging IFC and Horizon developments.

The Framework's massing respects the dome and the crest of Fort Regent, protecting long range views from St Aubin. Tapering down in the masisng of blocks C2 and B1 towards the waterfront reponds to policy requirements in relation to the setting of Elizabeth Castle.

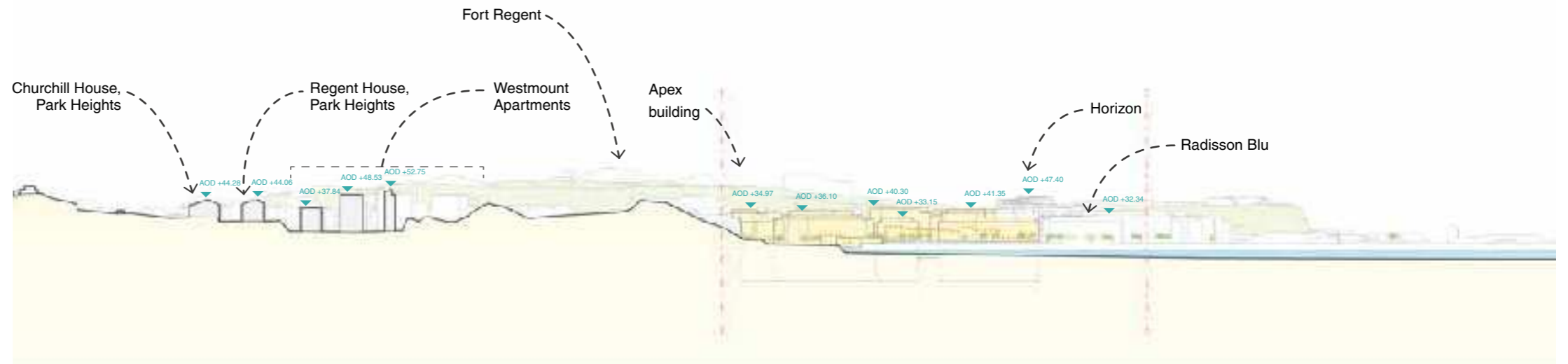


Figure 5.66 Wide section through Lower Park, West Park and Westmount Apartments

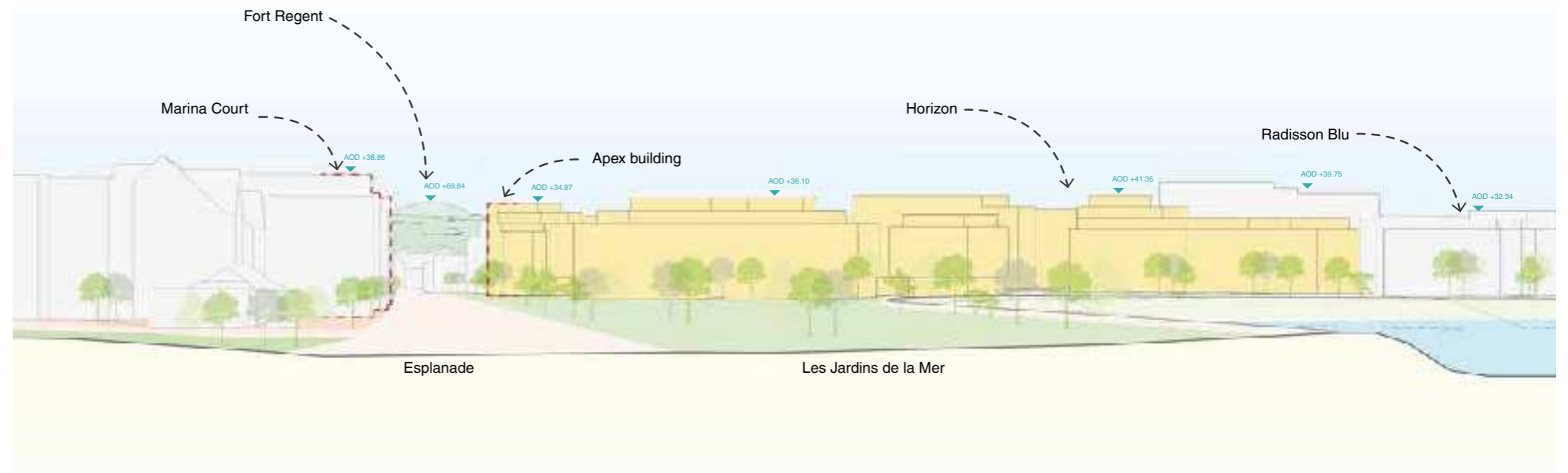


Figure 5.67 View from the Esplanade towards Fort Regent dome

5. The Framework

5.6 Framework Concept

5.6.3 Contextual Framework

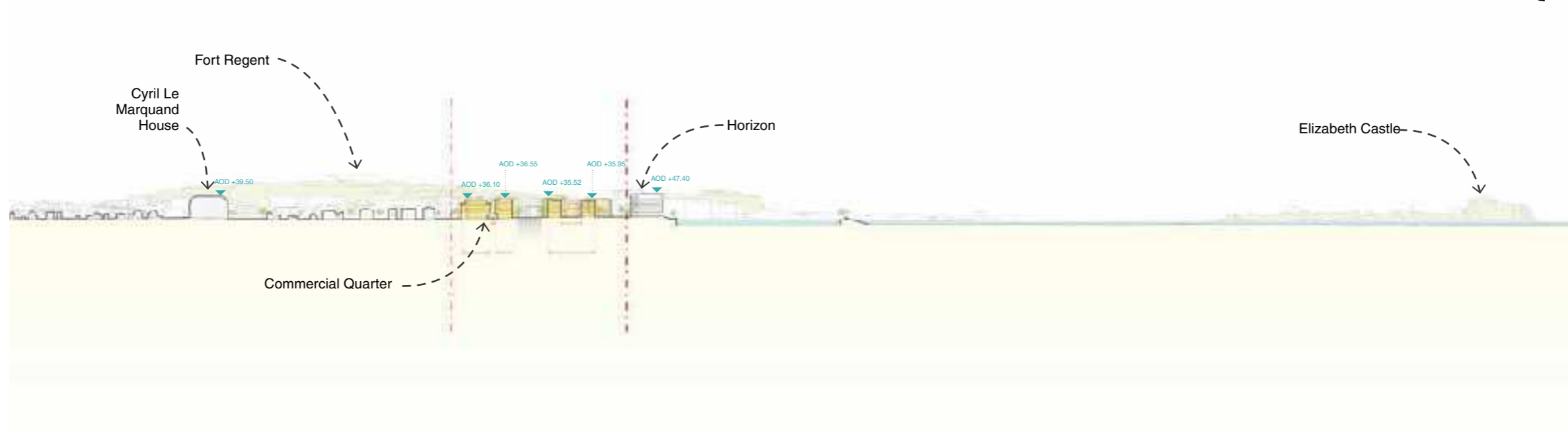


Figure 5.68 Section through Cyril Le Marquand House, the Site and Elizabeth Castle

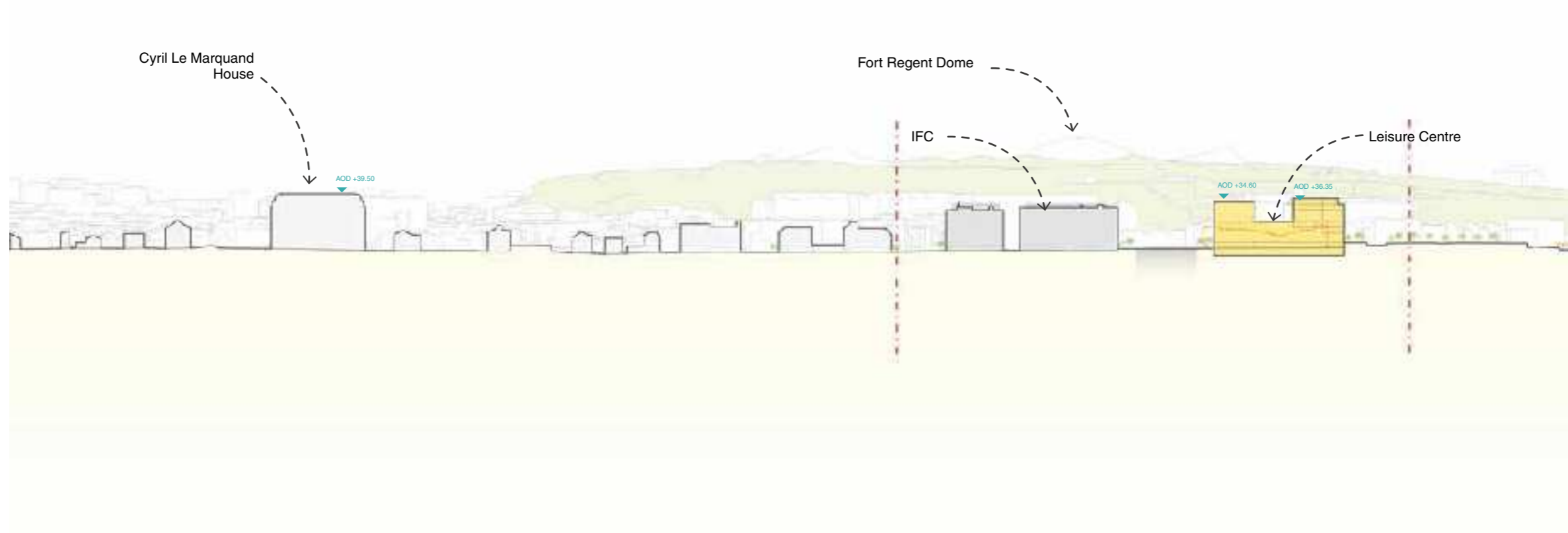


Figure 5.69 Section through the Site, IFC and wider context

5. The Framework

5.6 Framework Concept

5.6.4 Land Use

The mix of ground floor land uses has been carefully crafted to serve the needs of the new residents of Southwest St Helier as well as the existing wider community and visitors.

The Site will become a new destination offering a wide range of activities. Food and beverage, retail and leisure facilities are clustered around the key public spaces; arts and culture uses frame the new Central and The Esplanade Squares. Retail bookends parcels D and E to animate the lane and southern portion of the site.

Social infrastructure facilities including GPs, dental services and a nursery are located along Rue de Letau. The Framework provides a wide range of sports and leisure facilities: two gyms, a lido, a training swimming pool, Kids Zone, roller/ ice rink/ indoor skate/ bouldering centre. Two new office buildings on La Route de la Libération will continue the IFC commercial cluster. Culture and community and food and beverage uses within the ground floor of building C1 help activate the edge of the park.

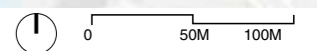
The diagram opposite shows a detailed breakdown of the gross floor area, unit yield, unit mix and commercial component as is currently designed. Note 15% of residential units per phase will be affordable as directed by GoJ.

Legend

- Site boundary
- Duplex residential
- Retail
- Food & Beverage - 10 cafés
- Food & Beverage - 4 restaurants (in A1, C2, G1 - rooftop) and 2 bars (in B1)
- Leisure in F1 - Leisure Centre (Kids zone, swimming pool, fitness)
- Leisure in B1 - Community use: roller/ ice rink/ indoor skate/ bouldering centre
- Leisure in C1 - Gym (linked to the outdoor pool)
- Arts, Culture & Community in A1 - Arthouse cinema
- Arts, Culture & Community (in G1, G2, G3) - flexible cultural/ community space
- Arts, Culture & Community in D2 - flexible community space
- Social infrastructure - 2 GP's (E1 and A1) dental practice (D2); nursery (D2)
- Flexible workspace (C1)
- Office/ commercial
- Substations/ servicing
- Cores
- A1 Plot index



Figure 5.70 Proposed Land Use Diagram (ground floor level)



5. The Framework

5.6 Framework Concept

5.6.4 Land Use

Parcel	Plot	Total gross floor area residential (m ²)	Residential units*	Residential units split			Other uses total gross floor area (m ²)						
				1-bed	2-bed	3-bed	Food and beverage	Retail	Leisure	Arts, culture and community	Social infrastructure	Office	Total per plot (m ²)
A	A1	12,950	120	50	44	26	530	-	-	495	191	-	1,216
B	B1	14,572	132	44	60	28	770	-	362	-	-	-	1,132
C	C1	19,038	186	87	52	47	374	272	1,115	270	-	124	2,155
	C2	4,048	35	6	21	8	544	-	-	-	-	-	544
D	D1	10,905	122	68	25	29	-	644	-	-	-	-	644
	D2	6,862	61	13	41	7	-	-	-	510	731	-	1,241
E	E1	12,014	141	81	40	20	-	260	-	-	102	-	362
	E2	4,334	33	18	6	9	-	-	-	-	-	-	-
	E3	3,763	34	5	21	8	82	-	-	-	-	-	82
F	F1	8,119	60	30	16	14	139	-	4,864	-	-	-	5,003
G	G1	3,878	60	58	2	-	-	-	-	680	-	-	680
	G2	-	-	-	-	-	292	-	-	165	-	8,478	8,935
	G3	-	-	-	-	-	103	-	-	358	-	8,153	8,614
-	P1	-	-	-	-	-	70	70	85	-	-	-	225
	P2	-	-	-	-	-	50	-	142	-	-	-	192
	P3	-	-	-	-	-	-	50	-	-	-	-	50
	P4	-	-	-	-	-	50	-	-	-	-	-	50
TOTAL		100,483	984	460	328	196	3,004	1,296	6,568	2,478	1,024	16,755	31,125

* Of which 15% of units per phase to be affordable

Unit type %		
46.75	33.33	19.92

Figure 5.71 SWSH Area Schedule and Unit Mix

5. The Framework

5.6 Framework Concept

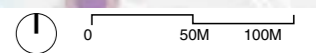
5.6.5 Active Frontages and Destinations

The Framework invites the local residents and visitors on a series of journeys through the site punctuated with active frontages. This helps to bring life to the scheme and animate the ground floors of the plots. The largest proportion of the active frontages is concentrated in the mixed-use zone with the Waterfront and Esplanade and Central Squares framed by cafés, restaurants, shops and arts and culture assets.

Routes along La Route de la Libération and Rue de L'etau include active corner units to enliven the residential plots, including the provision of smaller scale retail units and F&B offers.



Figure 5.72 Active Frontages and Destinations



5. The Framework

5.6 Framework Concept

5.6.6 Pavilions and Kiosks

Four pavilions are distributed across the site, bringing life to the open spaces and serving communities day-to-day needs by accommodating facilities such as the ferry ticket kiosk, swimming pool changing facilities, an information centre, an entrance to the underground cycle hub and a series of cafés and public toilets.

The pavilions and kiosks are seen as architectural 'gems' which should be single commissions that allow for a contemporary and playful architectural component.

The ferry kiosk pavilion will be provided via relocation of the existing La Frégate building which will be repurposed to accommodate the ferry ticket office as well as cafe, toilets and wheelchair storage.



Figure 5.73 Pavilions and Kiosks

Legend

- Ferry kiosk
- Pool pavilion
- The Central Square pavilion
- Marina Garden kiosk

5. The Framework

5.6 Framework Concept

5.6.6 Pavilions and Kiosks

FERRY KIOSK

A NEW LIFE FOR LA FREGATE AND A KIOSK FOR THE ELIZABETH CASTLE FERRY

P1

- Ferry ticket office
- Ice cream concession
- Office space
- Wheelchair storage facility
- Cafe
- Public toilets

POOL PAVILION

PAVILION INTEGRATES PUBLIC ACCESS TO THE BASEMENT AS WELL AS POOL FACILITIES AND A SMALL COFFEE SHOP

P2

- Lifts and fire stairs to public car parking below
- Pool changing and shower facility
- Life guard and first aid office
- Storage
- Small coffee concession
- Public toilets

SQUARE PAVILION

THE CYCLE HUB ENTRANCE AS WELL AS INFORMATION KIOSK AND ANIMATED BLEACHER SEATING

P3

- Lifts to cycle hub
- Information kiosk
- Storage for events equipment associated with the square

MARINA GARDEN KIOSK

A DESTINATION TO THE SOUTH OF THE SITE COMPLIMENTS THE ADJACENT LEISURE USES AND ACTS AS AN URBAN MARKER ALONG LA ROUTE DU PORT ELIZABETH

P4

- Larger cafe
- Public toilets



Figure 5.74 Cycle parking integrated with building



Figure 5.75 Elevated building entrance and planting



Figure 5.76 Timber cladding façade with colour variation



Figure 5.77 Communal Basin



Figure 5.78 Public pavilion with sheltered waiting area



Figure 5.79 Bleachers seating in the square



Figure 5.80 Circular form pavilion with semi-outdoor space



Figure 5.81 Natural and light-weight material with outdoor seating

5. The Framework

5.6 Framework Concept

5.6.7 Access and Circulation

VEHICLE CIRCULATION

The Framework fits within the aspirations and key principles set out in St Helier Public Realm Movement Strategy and Sustainable Transport Strategy SPG.

The proposal integrates IHE's current design for a bus gate which provides a bus-only westbound link between the Esplanade and Gloucester Street junction alongside public realm enhancements.

The development is planned to be predominantly vehicular free. Servicing vehicle access will be facilitated through the secondary streets.

Public transport connections are envisaged along Rue de L'etau with a new bus service linking to town, subject to future discussions with Liberty Bus.

The existing slipway for the amphibious ferry to Elizabeth Castle is to be in-filled and the new slipway will be integrated within the extended coastal edge.

Le Petit Train's route, connecting to the wider Jersey attractions, has been incorporated into the public realm strategy.

Legend

- Site boundary
- Vehicular route
- Controlled vehicle access
- Bus connection
- Bus gate (westbound)
- Potential new bus service connecting to town
- Amphibious Ferry to Elizabeth Castle
- Le Petit Train
- Underground car parking entrances
- Public right of access to beach maintained

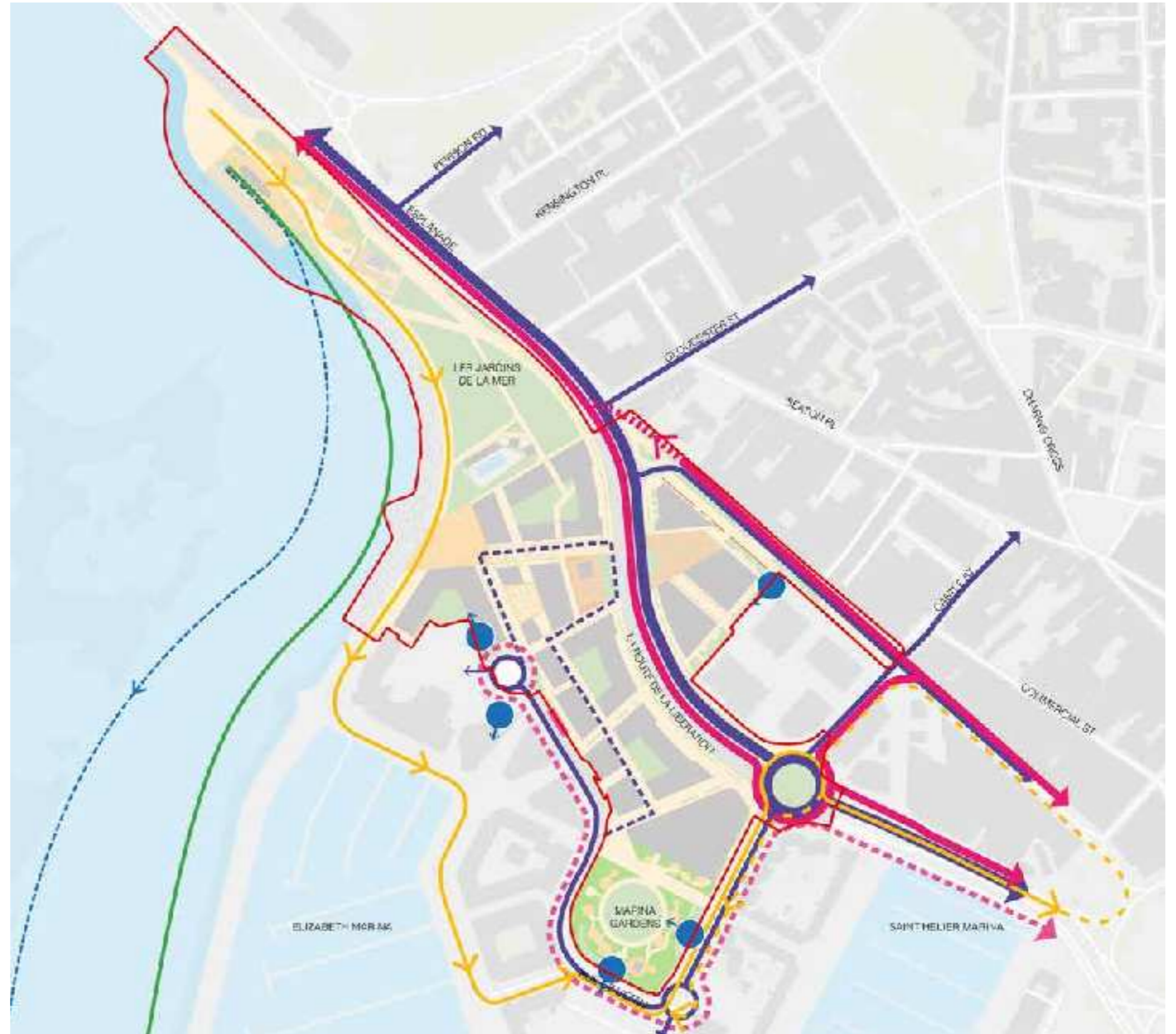
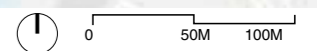


Figure 5.82 Vehicular Circulation



5. The Framework

5.6 Framework Concept

5.6.7 Access and Circulation

EMERGENCY & REFUSE ACCESS

While the Framework has been designed to be largely vehicle free, the public realm and parcels have been designed to provide the necessary access for emergency vehicles, including fire tender access. Parish of St Helier refuse vehicles are also facilitated and their tracking shown in the adjacent diagram.

Vehicle access shall be provided within 18m of the entrance to all buildings. The dry riser inlets to the buildings shall be visible and within 18m of the appliance parking position. This can be achieved for the majority of the building entrances.

All blocks have conventional fire service access arrangements, with the exception of plot C1 and block G3 where the distance from the primary appliance parking position to the furthest core is up to c.60m.



Figure 5.83 Emergency access

Legend

- Tracking
- Fire tender and Refuse vehicle
- Fire tender access via highways roads
- Up to 60m hose reach required

5. The Framework

5.6 Framework Concept

5.6.8 Pedestrian Movement

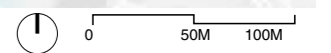
A key driver for the movement and connectivity strategy is to provide a safe and attractive environment for all and to facilitate easy access to St Helier's new waterfront.

The Framework seeks to enhance existing journeys, reinforce the existing town's relationship to the waterfront and sensitively integrate La Route de la Libération within the proposals. This includes providing safe crossings across La Route de la Libération, stitching together the two distinct areas to create one comprehensive green network for pedestrians and cyclists. This will connect with the wider network of pedestrian-friendly routes and assets in St Helier. The road itself will also become safer and more aesthetically pleasing through a series of landscape interventions. This includes planting and introducing new surface materials and traffic calming solutions. Partially covered walkways are provided between the IFC, the Esplanade and the Waterfront Square through colonnaded setbacks.

As set out in the SPG, La Route de la Libération is heavily used throughout the day and is a significant physical barrier limiting safe pedestrian movement between the waterfront and town centre as well as disrupting the natural permeability. Restoring and enhancing connectivity between the waterfront and the historic town centre will be essential for successful future development.



Figure 5.84 Pedestrian Movement



5. The Framework

5.6 Framework Concept

5.6.9 Cycle Movement and Strategy

The SWSH Visioning Framework is promoting healthier lifestyles and advocates for active low carbon means of transport. High quality walking and cycling routes are included with a varied programme of public realm leisure uses and a future-focused development in line with the GoJ Sustainable Transport Policy SPG.

Shared cycling routes will be provided along the waterfront and Les Jardins de La Mer as well as a new connection from the Esplanade to the Waterfront through the primary street.

Dedicated cycle routes are proposed along La Route de la Libération to ensure a faster cycle connection to town via Castle Street roundabout and towards St Helier Marina, as well as the Esplanade which extends the existing treatment fronting the IFC.

Legend








-  Site boundary
-  Dedicated cycle routes
-  Shared cycle routes
-  Informal cycle access
-  Existing cycling routes
-  Crossing
-  Cycle hub



Figure 5.85 Cycle Movement

5. The Framework

5.6 Framework Concept

5.6.9 Cycle Movement and Strategy



Figure 5.86 Active transport benchmarks internationally



Figure 5.87 Pedestrian priority spaces



Figure 5.88 Planting buffering cycle networks from adjacent traffic



Figure 5.89 Shared pedestrian and cycle streets



Figure 5.90 Shared pedestrian and cycle streets

5. The Framework




5.6 Framework Concept

5.6.9 Cycle Movement and Strategy

SHORT STAY CYCLE PARKING

Short stay cycle parking accommodates a re-provision of 54 existing spaces as well as an additional 314, of which 58 are e-bike hire. Cycle parking is conveniently located along secondary streets in close proximity to residential units, within the park spaces are in close proximity to pavilions and kiosks.

Legend

-  Site boundary
-  Proposed development
-  Public short stay cycle parking



368 SPACES
PUBLIC SHORT STAY
(INCLUDING EV)



Figure 5.91 Short Stay at Grade Cycle Parking

5. The Framework

5.6 Framework Concept

5.6.9 Cycle Movement and Strategy

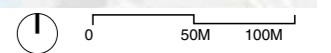
BASEMENT CYCLE PARKING

Basement cycle provision includes 1704 long stay residential spaces split across dedicated cycle stores and residential lockers. Access is via dedicated cycle lifts in Blocks C1 and E1 cores or via the B1 basement ramp.





Beneath the Central Square and located conveniently off the cycleway is a basement Cycle Hub. The inclusion of this facility reaffirms the Framework's approach to active transport, health and well-being and a commitment to sustainable transport modes.



Figure 5.92 Underground Cycle Parking



Legend

-  Site boundary
-  Basement extent (B2)
-  Residential cycle parking
-  Cycle hub: 393 spaces



1704 SPACES
RESIDENTIAL CYCLE
PARKING



388 SPACES
PUBLIC CYCLE HUB

5. The Framework

5.6 Framework Concept

5.6.9 Cycle Movement and Strategy

CYCLE HUB

The Cycle Hub will be accessed via a cycle lift integrated into the dedicated cycle pavilion within the Central Square. Both the Cycle Hub and associated pavilion should be contemporary and playful in their architectural and interior language.

The hub will include the following;

- Changing area, including showers and toilet facilities (160m²)
- Cycle repair centre (22m²)
- Bike hub (500m²)
- Capacity for 393 spaces, of which 353 are standard spaces, 20 are accessible and 20 are e-bike hire.

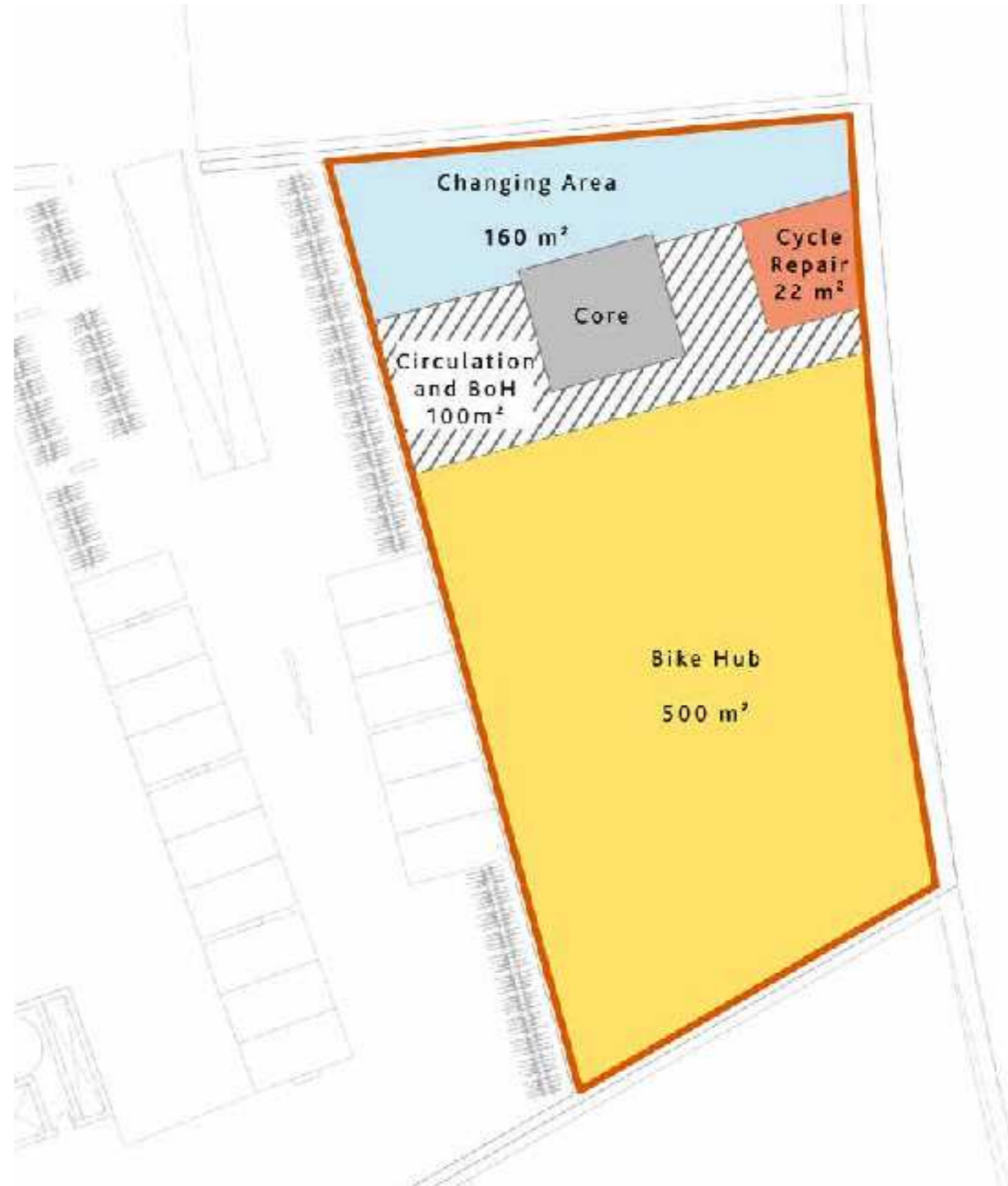
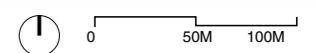


Figure 5.93 Diagram of Cycle Hub



5. The Framework

5.6 Framework Concept

5.6.9 Cycle Movement and Strategy



Figure 5.94 Section of the Central Square and Cycle Hub



Figure 5.95 Bike repair



Figure 5.96 Cycle storage and circulation



Figure 5.97 Two tier cycle storage system

5. The Framework

5.6 Framework Concept


5.6.10 Landscape Character Areas

The structure of the proposed design strategy involves the formation of five consolidated ground floor open space typologies; each activated through the inclusion of social infrastructure, heritage interpretation and recreational facilities. In addition to these spaces, the framework includes a network of streets and several street interfaces.

These spaces vary from active civic spaces designed for multiple activities, communal gathering, circulation, to large areas of open lawn for relaxed passive animation, to quieter spaces for individuals and smaller groups to gather, interact, garden or relax.

The landscape proposals for each of the character areas is described in the following section. Further detail is provided with detail plans, 3D sketches, illustrative views and typical sections. In some character areas, precedent images of similar types of spaces are used to illustrate the design intent. The planting design intent, hard and soft landscape elements, lighting and servicing provisions are covered in more detail in the relevant sections.



Legend

 Planning Application Boundary





STREETS

-  Primary Street
-  Secondary Street
-  The Lane
-  Arcade
-  Esplanade Secondary Streets
-  1 Rue de l'etau
-  2 La Route de la Liberation
-  3 The Esplanade
-  4 Victoria Avenue



PUBLIC REALM PARK

-  Les Jardins de la Mer
-  Marina Gardens

SQUARES

-  5 Esplanade Square
-  6 Central Square
-  7 Pocket Square
-  8 Waterfront Square

PROMENADE

-  Promenade within park setting
-  South Waterfront Promenade

PRIVATE COMMUNAL




-  C Block C
-  D Block D
-  E Block E



Figure 5.98 Landscape Character Areas

5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan



Figure 5.99 Illustrative view looking south towards Elizabeth Marina

5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan

The public realm will be a canvas for everyday life; a place to know your neighbours, a place to spend your weekends and a place for the island communities to gather for events and festivals.

Within this Framework, the landscape and public realm comprise a number of key components to satisfy various requirements and functions. These include provision of public, semi-private and private open spaces, formal and informal play spaces for residents and general public use and passive and active recreational spaces. Other landscape features include sustainable drainage systems integrated into the landscape, biodiverse plantings and living roofs.

The Park

1. La Frégate castle ticket kiosk animates the West Park Gateway
2. Proposed new slipway alignment
3. Garden rooms
4. Extended promenade to the north of the German casemate
5. German casemate retained and celebrated
6. Bus stop and bus priority lane
7. Two-way cycleway connecting to the Esplanade and Castle Street
8. Landscape mounding
9. Park playground
10. Flexible flush lawn space
11. Pool kiosk, cafe and toilet amenities
12. 25m long, 4 lane Lido
13. 10m wide waterfront promenade
14. Existing revetment retained

Mixed-use Waterfront

15. Flexible waterfront square with tree grove, water animation and public art
16. The Central Square is animated by an arthouse cinema and the cycle hub
17. Esplanade Square acts as an outdoor exhibition space
18. The Pocket Square offers a quiet retail spill-out area anchored off of the lane
19. Uplifted streetscape with planted central median and street trees
20. Pedestrian lane
21. Pedestrian arcades
22. Private communal courtyard
23. Town bus link drop off
24. Marina Gardens play hub with cafe and amenity kiosk
25. 1st floor residents amenity podium garden
26. Pedestrian connection to Trenton Square
27. Landscape interface to Trenton Square
28. Bus gate
29. Extension of Esplanade cycleway
30. Access to Leisure Building
31. Enhancements to Castle Street Roundabout

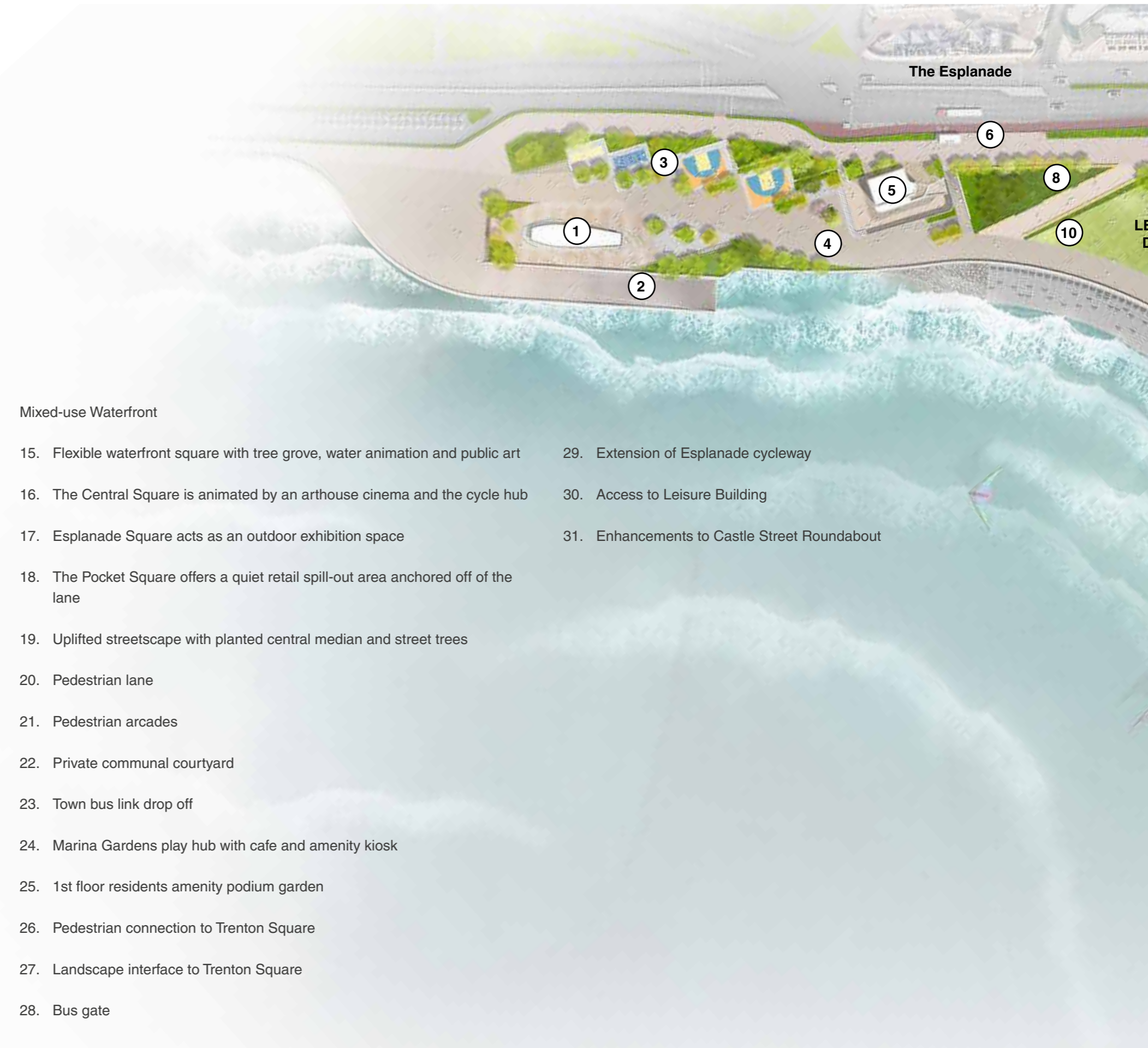
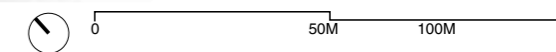




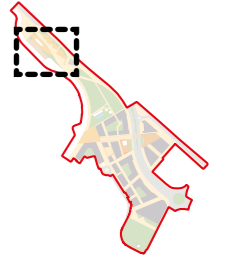
Figure 5.100 Illustrative Framework



5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan



5.6.11.1 LES JARDINS DE LA MER

WEST PARK GATEWAY

The design of the West Park Gateway has been done in close collaboration with a variety of stakeholders including IHE, Jersey Heritage, the ferry and train operator, Jersey Sport and accessibility group, BeachAbility. This consultation has ensured the realisation of a vibrant, purpose built park to meet the islanders needs.

1. La Frégate ferry ticket kiosk, cafe and public toilets
2. Cafe spill-out seating area
3. New slipway with gangway access allows for dedicated loading and queuing space
4. Bike stands
5. Planted islands with informal seating and clusters of coastal species provide additional shelter
6. The sports garden rooms have been flexibly designed to accommodate future requirements and uses such as shade canopies, beach volley ball, table tennis and 3 x 3 half courts. A secondary sea defence is required here and integrated within planting. For further information refer to the Concept Design for Sea Defences report.
7. Retaining wall to upper promenade level. Planting at street level softens the visual appearance of the wall
8. Lower, seaward facing side of casemate retained. Further detail regarding the casemate can be found in Chapter 6 of this report.
9. Toilet block to German casemate removed and frontage of casemate restored as an interpretive garden
10. Graded path and stair access to the new bus stop



Figure 5.101 Detail Plan of West Park Gateway

5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan

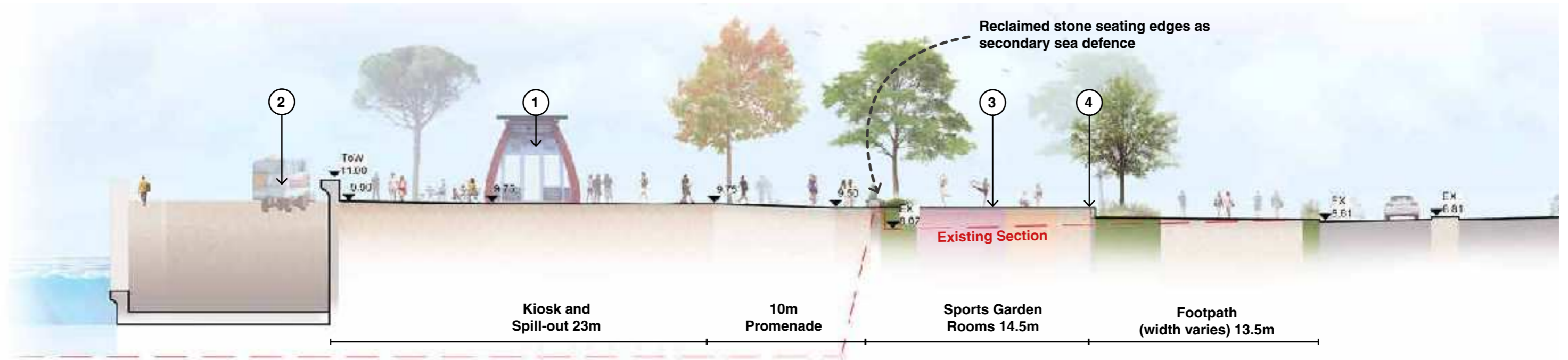


Figure 5.102 Section A-A looking North-West cutting through the new slipway and area of minor reclamation



Figure 5.103 Sports courts with vibrant graphics



Figure 5.104 Waterside volleyball



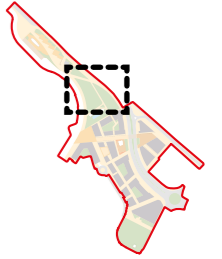
Figure 5.105 Table tennis

1. La Frégate ferry ticket kiosk, cafe and public toilets
2. Proposed slipway
3. Programmed sports and garden rooms
4. Retaining wall to upper promenade level. Planting at street level softens the visual appearance of the wall

5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan



5.6.11.1 LES JARDINS DE LA MER

CENTRAL LAWN AND PLAY HUB

1. Mounded landform shelters the lawn from the road and retains the proposed raised waterfront promenade levels
2. 3200sqm of generous flexible lawn caters for passive day-to-day uses as well as events
3. Waterfront promenade maintains a width of 10m wide
4. Recycled natural stone retaining wall ensuring grades are not too steep for play and events
5. Cycle stands surrounded the destination programmed spaces
6. Existing stepped revetment with stepped beach access
7. Raised seawall
8. Upgraded footpath to Victoria Avenue including a new avenue of trees, minimum of 4m wide footpath
9. New bus stop and dedicated bus lane
10. Play water channel
11. Play geysers
12. Play climbing boulders
13. Water misters
14. Stacked stone play with slide and sand pit
15. Raised timber deck
16. Climbing frame
17. Public Lido



Figure 5.106 Detail plan of lawn and play area

5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan



Figure 5.107 Illustrative view from the Play Hub looking back towards the pool pavilion and the park typology

5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan

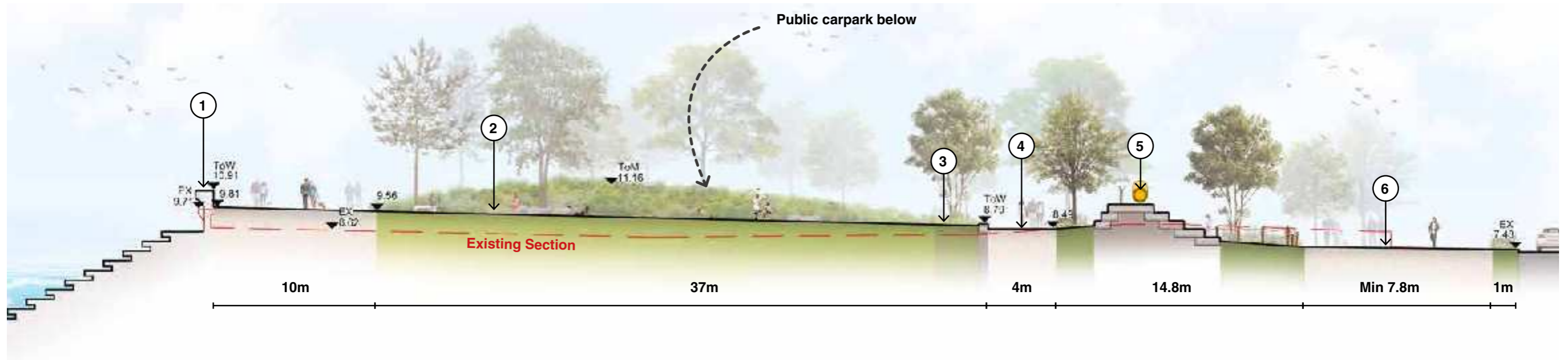


Figure 5.108 Section B-B looking North through lawn and plan



Figure 5.109 Stacked stone play with water and slides



Figure 5.110 Flexible flush lawn for picnics and games

1. New raised seawall
2. Flush flexible green
3. Planter buffer to edge of lawn shelters adjacent path
4. Shared pedestrian and cycle path
5. Stacked stone play with slide
6. The Esplanade footpath (width varies)

5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan

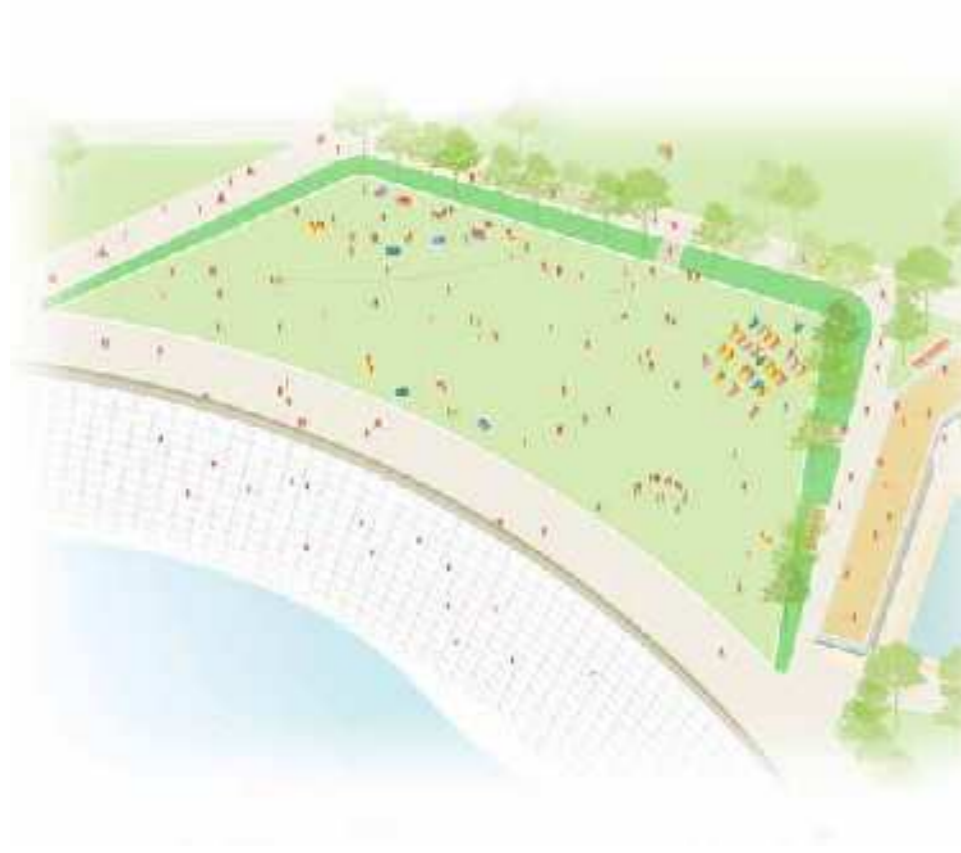


Figure 5.111 Capacity Diagram Everyday

The central lawn will support a vibrant day-to-day life with capacity for up to 375 people to use in a passive everyday use including boot-camps, yoga, picnicking and games.

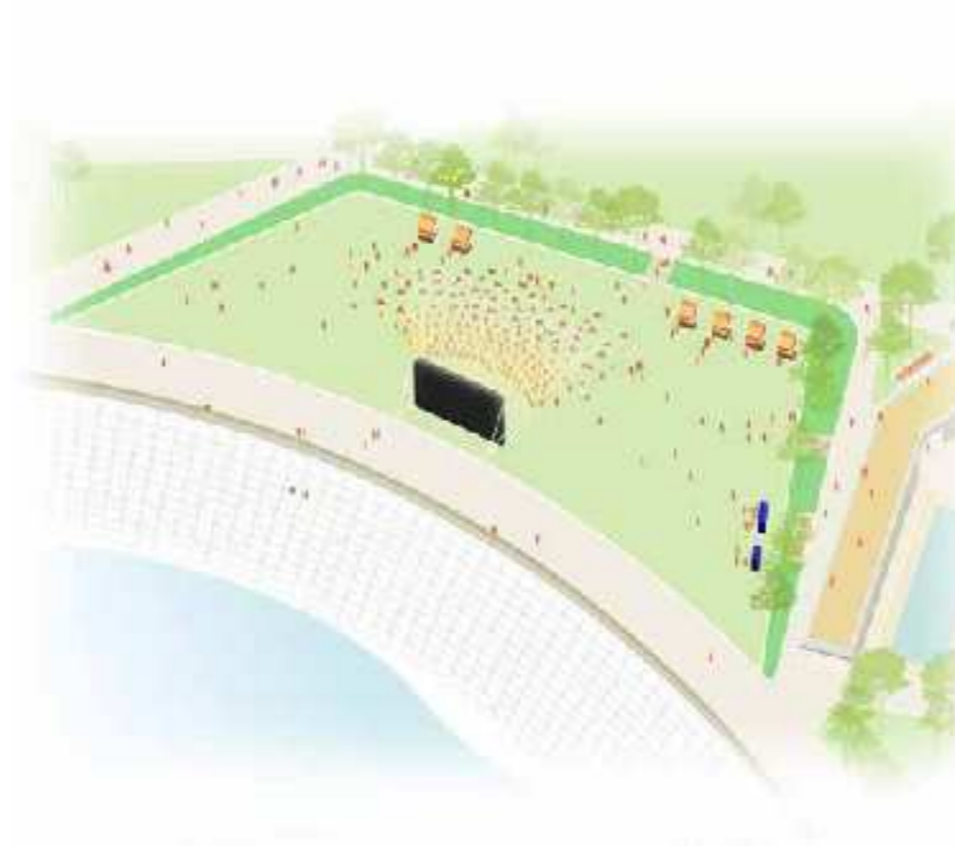


Figure 5.112 Capacity Diagram Pop Up Cinema

The lawn will serve as a great asset to the town for events such as pop up cinemas, sports events, screenings and parades. It can host up-to 230 people for outdoor cinema use.



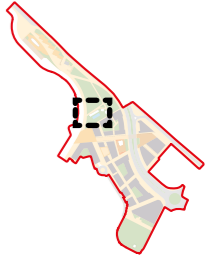
Figure 5.113 Capacity Diagram Triathlon

The lawn has been designed to enhance the functionality and operations of the triathlon. The above diagram demonstrates capacity for 735 bikes to be parked at the change over station, a 5 x 6m marquee, a first aid tent and 10 portaloos. There is an opportunity to make the pool pavilion roof accessible for spectator viewing in similar events.

5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan



5.6.11.1 LES JARDINS DE LA MER

PUBLIC LIDO

The re-imagined park provides ample public amenity including a new pool pavilion with an outdoor community swimming pool.

1. Public toilets service the adjacent park
2. Lift and stair access to the public car park is integrated into the pavilion
3. Entry with ticket purchase and turnstiles
4. Small takeaway coffee shop
5. Stair access to public parking below
6. 25m x 8.5m four lane pool
7. 2m safety clear zone offset
8. 210sqm flexible space for deck chairs and spectator seating
9. Lifeguards room and storage
10. Male and female changing rooms and toilets
11. Opportunity for a roof viewing deck
12. Planted buffer and trees provide shelter from prevailing winds and provide privacy while framing views to Elizabeth Castle
13. Retaining edge to pool area
14. Pedestrian arcade connection to courtyard
15. Cycle stands and spill-out area associated with ground floor retail help to animate the frontage
16. Lane

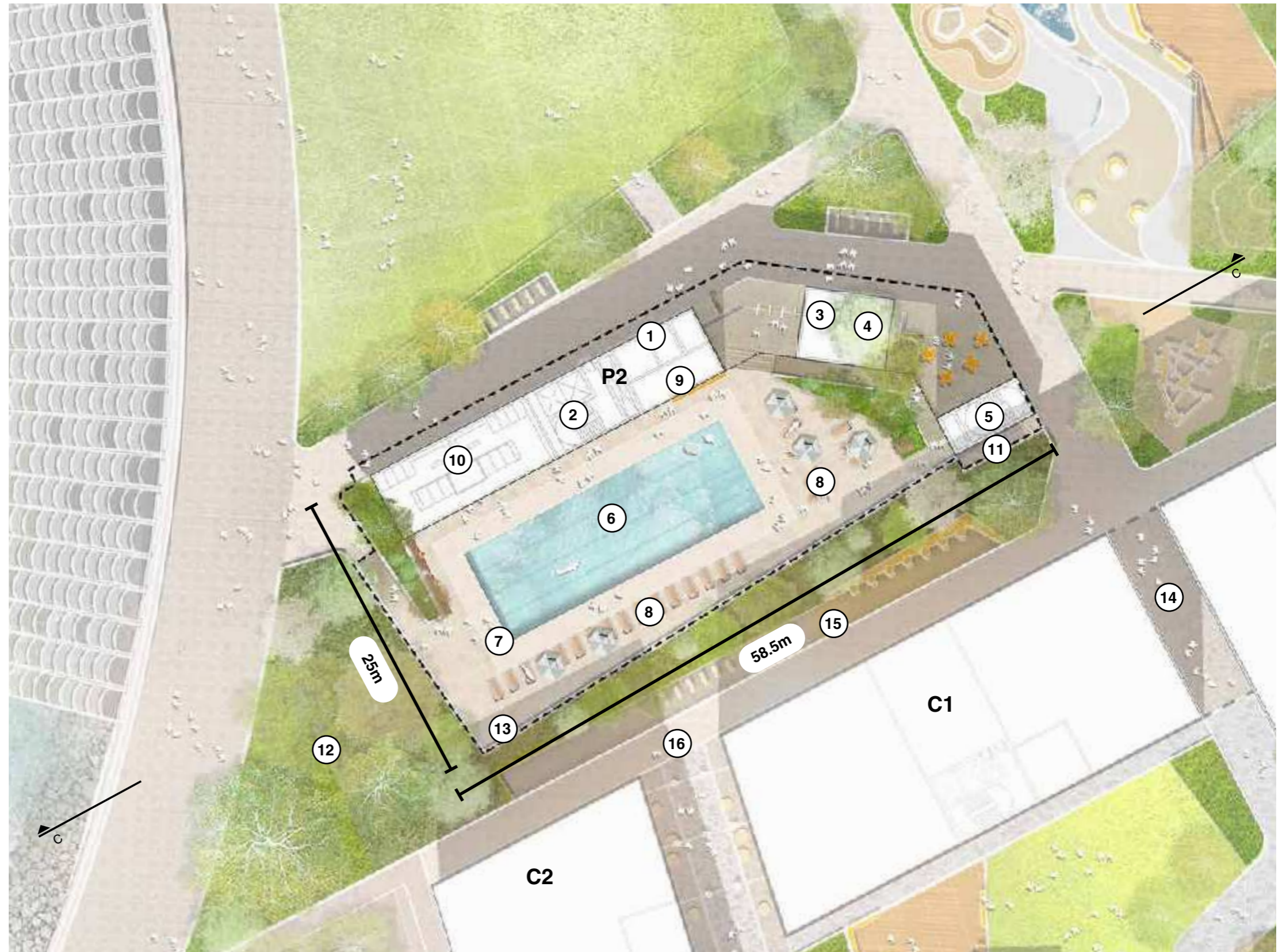


Figure 5.114 Public Lido Detail Plan

5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan

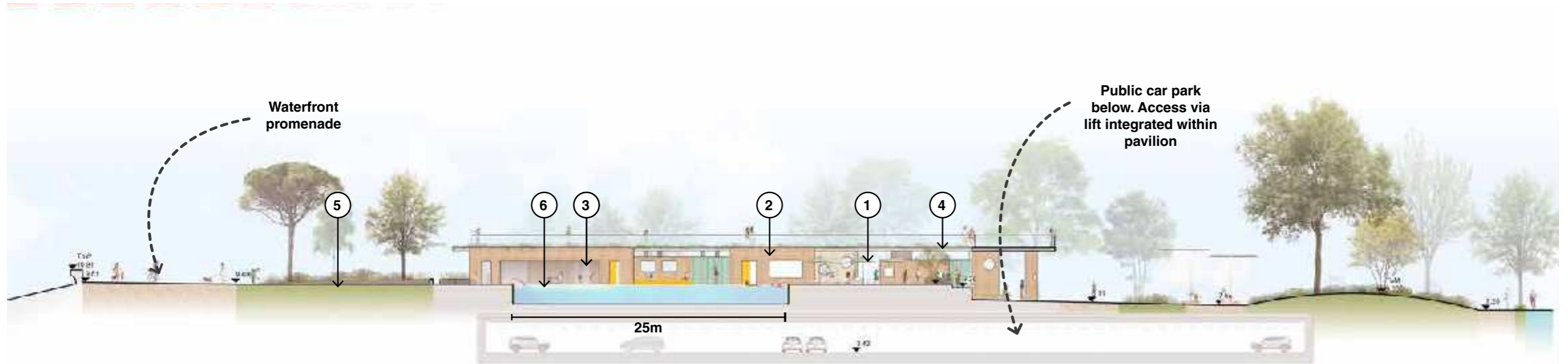
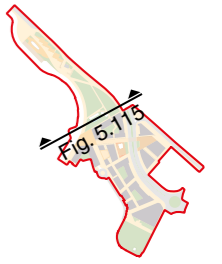


Figure 5.115 Section C-C looking North towards to pool



Figure 5.116 Lane swimming pool



Figure 5.117 Pool pavilion with shower and changing facilities



Figure 5.118 Pool pavilion

1. Entry with ticket purchase and turnstiles
2. Lifeguards room and storage
3. Male and female changing rooms and toilets
4. Opportunity for a roof viewing deck
5. Planted buffer and trees provide shelter from prevailing winds and provide privacy while framing views to Elizabeth Castle
6. 25m long 4 lane pool

5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan

5.6.11.2 MARINA GARDENS

Marina Gardens is a sheltered, sunny park and well connected to both the waterfront and the Marina. The existing Marina Gardens sits on top of a two storey basement car park. It is understood the existing structure has been designed with the loading capacity to take an additional two storeys. As such the deck has loading capacity for play equipment and some additional planting and trees. The proposal includes a greater variety of social and programmed spaces including play facilities and a new cafe kiosk.

Marina Gardens are immediately adjacent to F1 and the landscape to the block frontage has been designed to maximise the physical and conceptual connection to the adjacent gardens, helping to stitch the new development into its surroundings. The design allows ground floor leisure uses within the block to spill out and further activate the space.

1. Secondary access into leisure facility
2. Existing public car park access retained
3. Circular loop path
4. 1735sqm of flexible lawn for play and games
5. New cafe kiosk with public toilet facilities
6. 1000sqm of play and social spaces for passive use
7. Tertiary play trail path
8. Enhanced trees and planting
9. Pockets of spill-out for F1 ground floor leisure use



Figure 5.119 Detail Plan Marina Gardens

5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan



Figure 5.120 Social rooms



Figure 5.121 Play trails including stepping logs set within planting



Figure 5.122 Illustrative view of Marina Gardens looking towards parcel F1

5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan

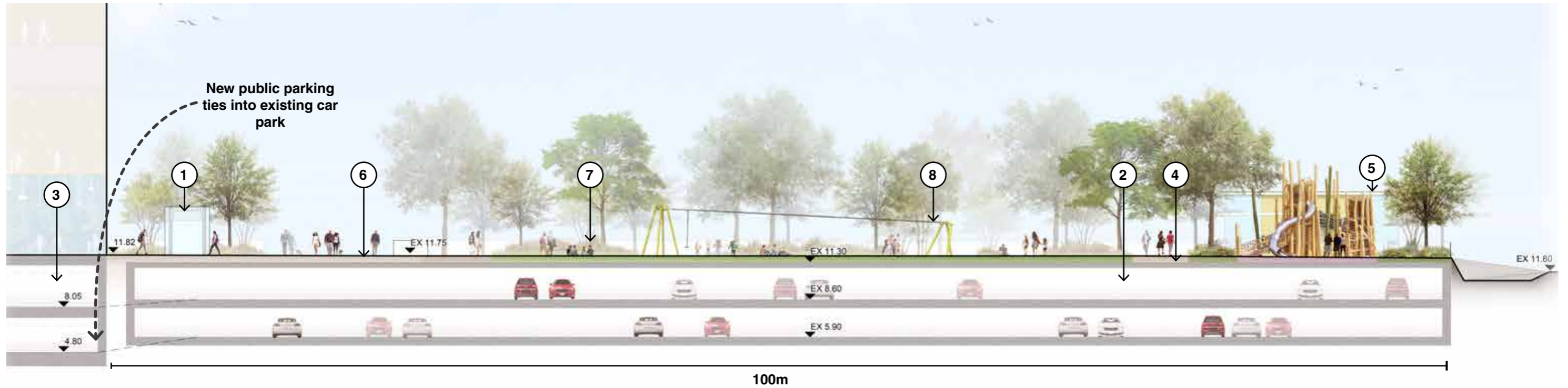


Figure 5.123 Section D-D looking south towards La Route du la Port Elizabeth



Figure 5.124 Gym overlooking the park benefiting from the green outlook and afternoon sun



Figure 5.125 Visual amenity for residential units within F1 that enjoy a southern aspect and lush green views

5.6.11.2 MARINA GARDENS

1. Existing public car park access retained
2. Existing basement
3. New public car parking connected to existing Marina Gardens car park
4. Loop path
5. New cafe kiosk with public toilet facilities
6. Access ramp down to La Route du la Port Elizabeth and the Marina
7. Mounded landscape and planters to achieve depth for tree planting
8. Play equipment within planted play trail

5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan



5.6.11.3 SOUTH WATERFRONT PROMENADE

The frontage of B1 has been designed to respond to the existing alignment and precedent set by the Radisson Blu Hotel adjacent. It includes provision for 10m clear area for the waterfront promenade and a dedicated food and beverage spill-out zone defined through paving treatment, allowing people to enjoy this unique waterfront aspect.

- 1. Promenade
- 2. F+B spill-out
- 3. Freedom tree
- 4. Radisson Entry
- 5. Radisson Car park
- 6. Planting
- 7. Waterfront Square

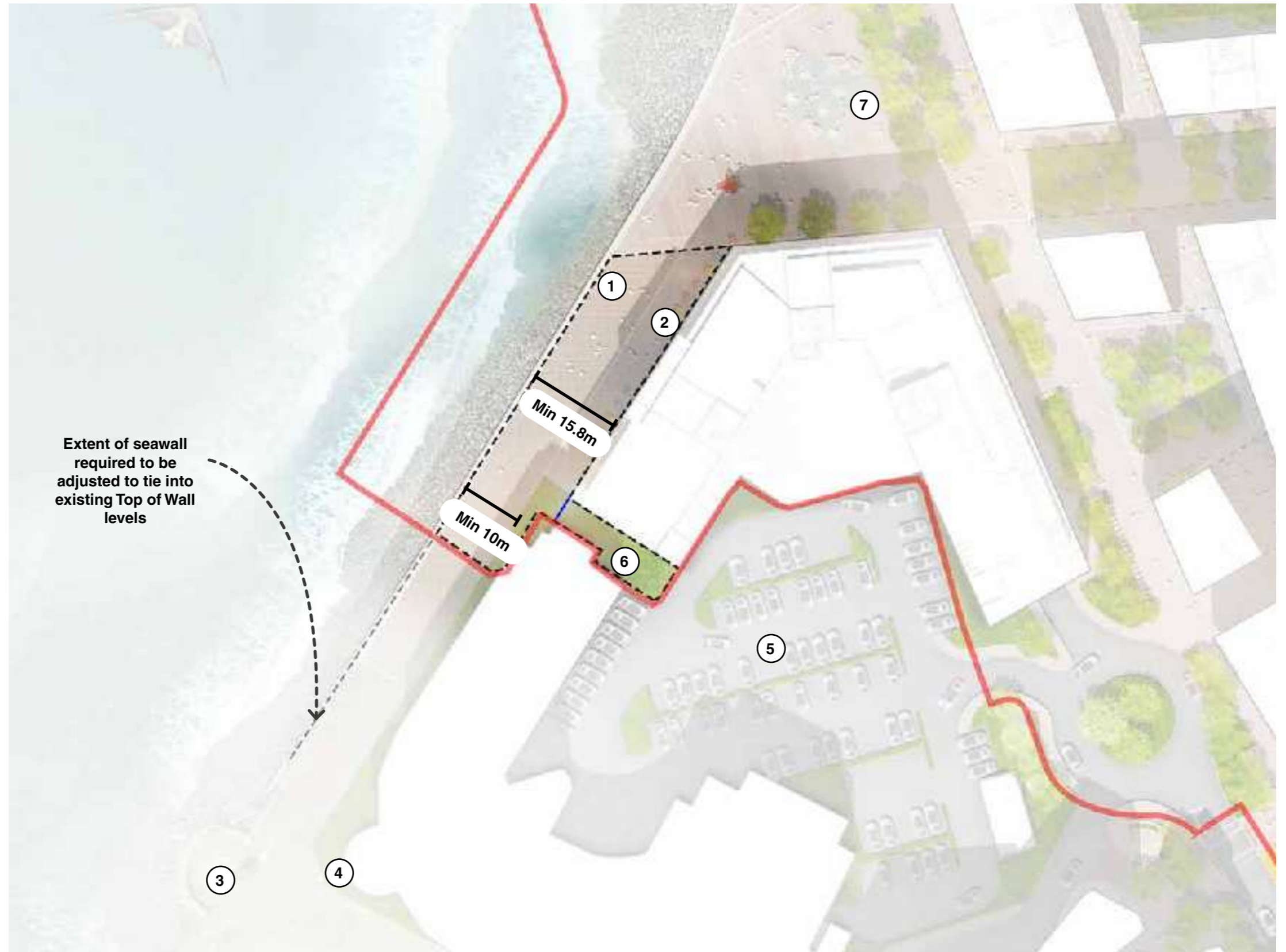
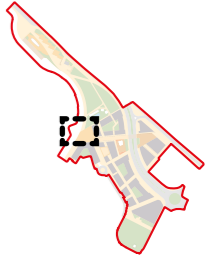


Figure 5.126 Detail Plan South Waterfront Promenade

5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan



5.6.11.4 WATERFRONT SQUARE

The Waterfront Square creates a flexible destination space for good weather events. It can facilitate pop up markets, sculpture shows and is animated in its day-to-day use by water jets and a grove of trees.

1. Large format paving to define this civic space
2. Water jets animate the Square creating a soundscape and informal play opportunities. Jets can be turned off for events such as pop up markets, parades or the triathlon
3. Reclaimed stone forms informal seating to water jet area
4. Tree grove shelters waterfront retail
5. Fixed public furniture below tree grove
6. Opportunity for signage or public art to be used as an urban marker drawing pedestrians down from the Esplanade Square



Figure 5.127 Detail plan Waterfront Square

5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan

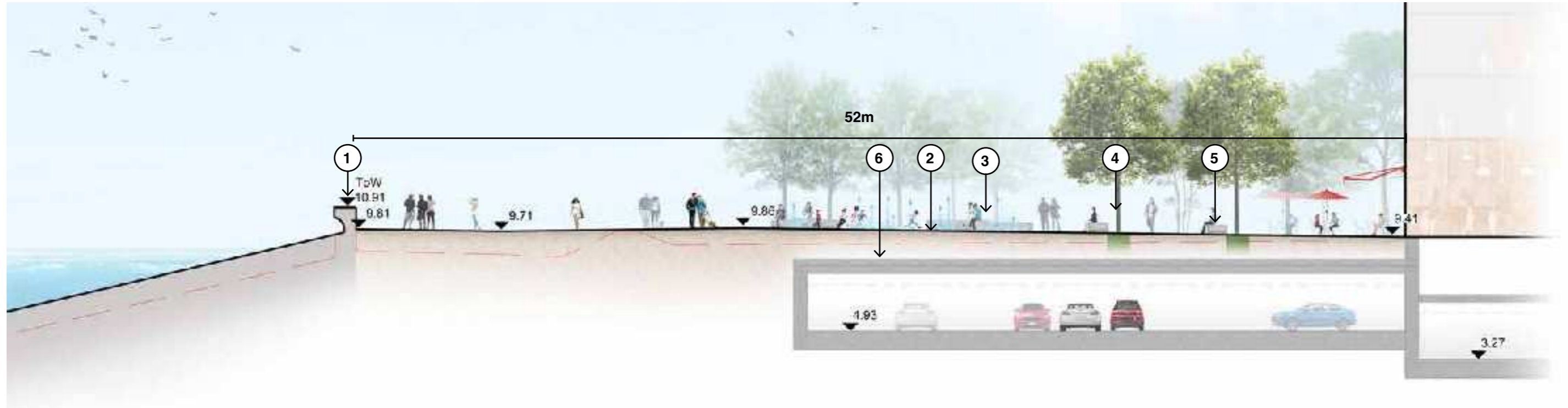
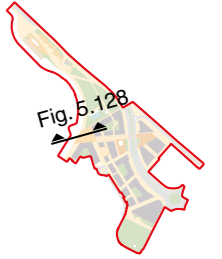


Figure 5.128 Section E-E looking north towards Les Jardins de la Mer



Figure 5.129 Example of natural stone and interpretation used to create a vibrant ground plane



Figure 5.130 Informal water play animates the square

5.6.11.4 WATERFRONT SQUARE

1. New seawall to raise levels of 1.1m
2. Water jets animate the space creating a soundscape and informal play opportunities. Jets can be turned off for events such as pop up markets, parades or triathlon
3. Reclaimed stone forms informal seating to water jet area
4. Tree grove shelters waterfront retail
5. Fixed public furniture below tree grove
6. Proposed basement

5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan

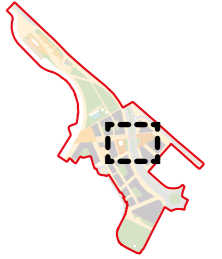


Figure 5.131 Illustrative view looking towards the Waterfront Square and the Esplanade

5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan



5.6.11.5 CENTRAL AND THE ESPLANADE SQUARES

As part of the feedback provided by the Jersey Architecture Commission the design team were challenged to reflect on the severance La Route de la Libération has created between town and the waterfront and to make a Framework move to prioritise pedestrian and cycle connections over vehicular.

This also coincided with the updated Urban Character Appraisal which calls for a “de-engineering” of La Route de la Libération. The relief in massing and gesture to create two open spaces adjacent to the road aspires to slow vehicle movement and ensure the development does not turn its back to the road, reinforcing its severance. With the Sustainable Transport Strategy SPG targeting a gradual decrease in private car usage there is potential to further reduce the width of La Route de la Libération in the future, these squares may ultimately only straddle a calm, two-lane road.

The Central Square and Esplanade Square offer a sheltered alternative on windy days. These spaces sit at the heart of a cultural precinct and offer flexibility for a variety of events and day-to-day uses.

1. The square pavilion acts as a cycle hub entry as well as event seating within the square
2. Double row of trees acts as a defensible edge buffering the square from the road and provides a generous seating edge
3. Flexible space for market stalls, busking and pop ups
4. Two-way cycleway
5. Widened central median for planting and trees
6. Pedestrian crossing
7. Apex residential building with ground floor cultural use
8. Square with dense tree grove and seating below provides a sheltered space
9. Rain garden collects run off from the square and buffers the adjacent road

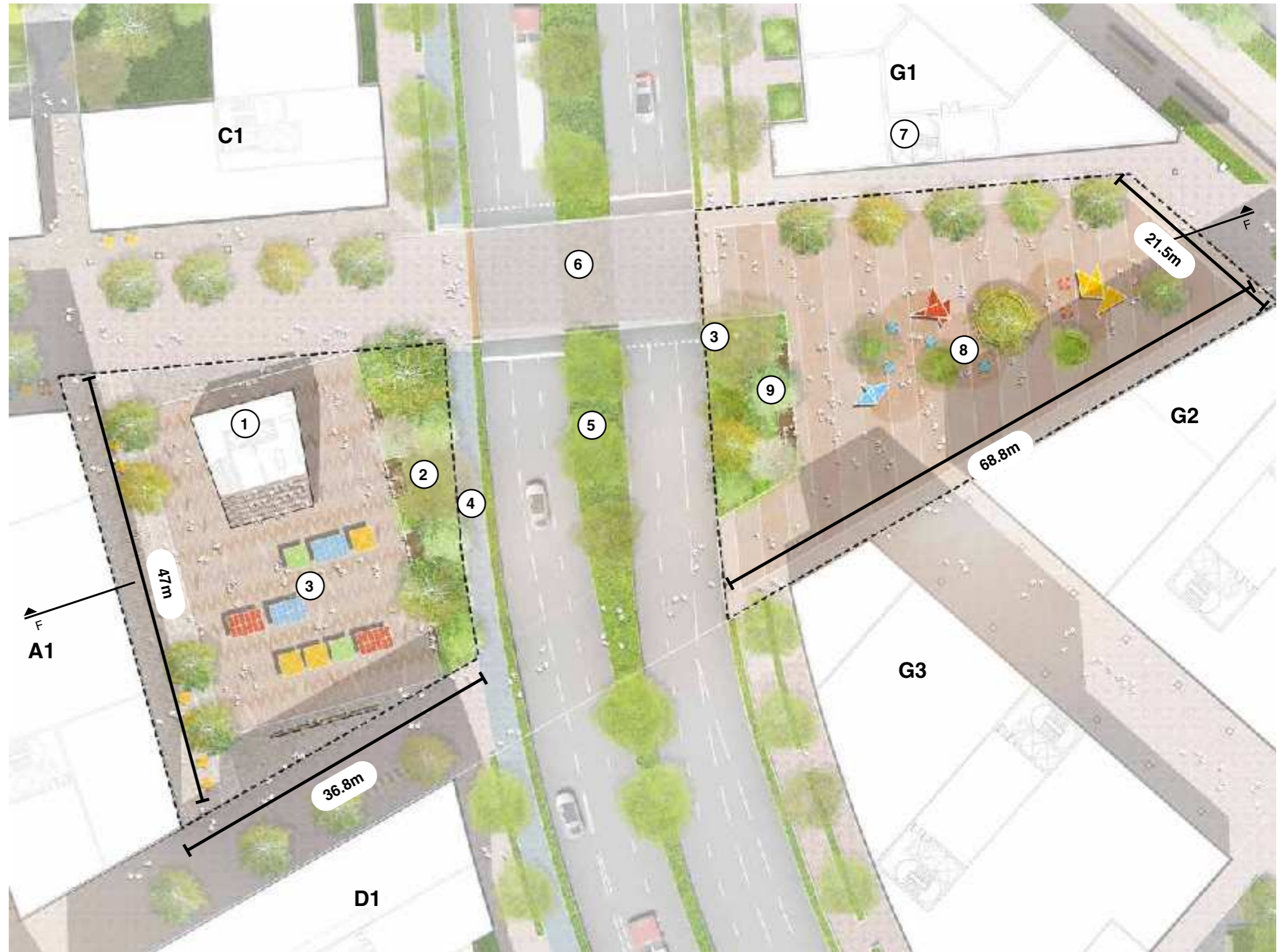


Figure 5.132 Detail plan Central and Esplanade Square

5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan



Figure 5.133 Radial paving reminiscent of the town and planted islands to the Esplanade Square



Figure 5.134 Cycle Hub pavilion

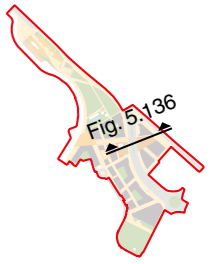


Figure 5.135 Illustrative view looking towards the Cycle Hub and Art House Cinema

5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan



5.6.11.5 CENTRAL AND THE ESPLANADE SQUARES

- | | | |
|--|--|---|
| <ul style="list-style-type: none"> 1. Spill out from retail and cinema under trees 2. Kiosk and cycle hub with information point and animated bleacher seating onto the Square 3. Cycle hub 4. Arthouse cinema animates the Square and creates a night time identity | <ul style="list-style-type: none"> 5. Residents communal roof terrace with wind barrier 6. 9-4m wide planted buffer to cycleway and road 7. Two way cycle-lane to Castle Street roundabout 8. Planted central median 9. Rain garden | <ul style="list-style-type: none"> 10. Art garden, similar to the Fourth Plinth in London, acting as a flexible outdoor gallery 11. Existing heritage seawall retained 12. Proposed basement |
|--|--|---|

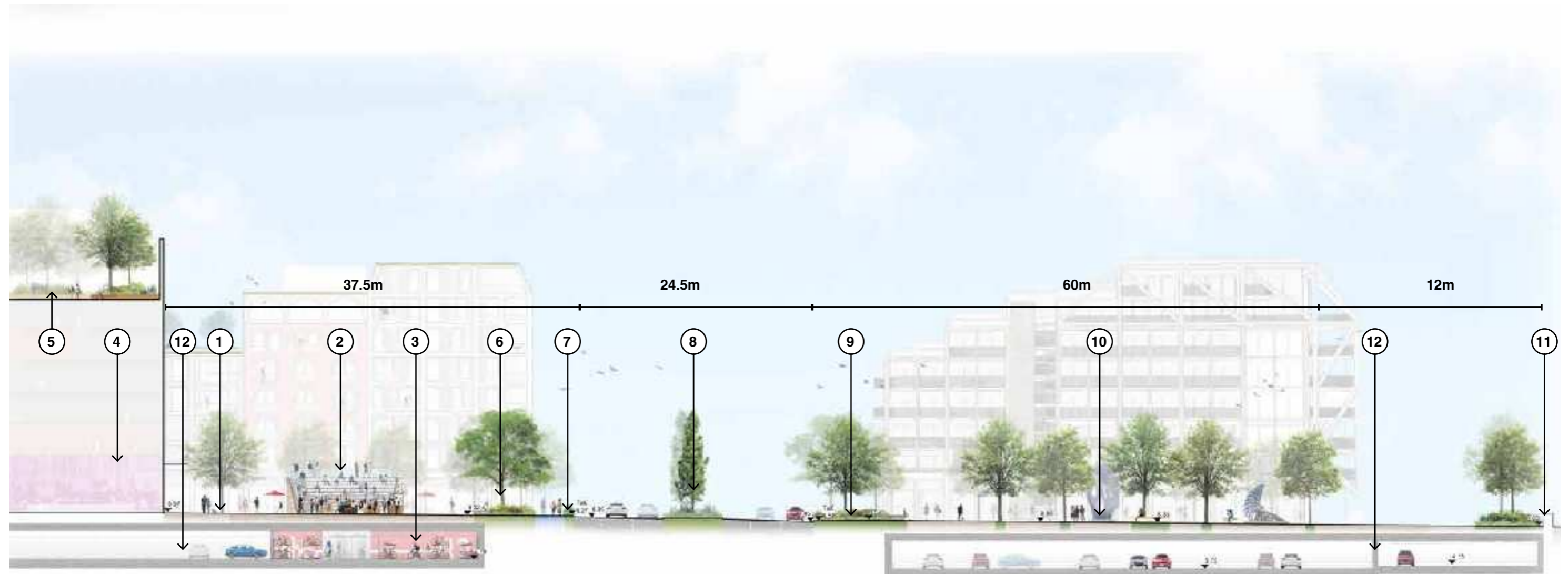


Figure 5.136 Section F-F looking North towards the residential Apex building

5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan

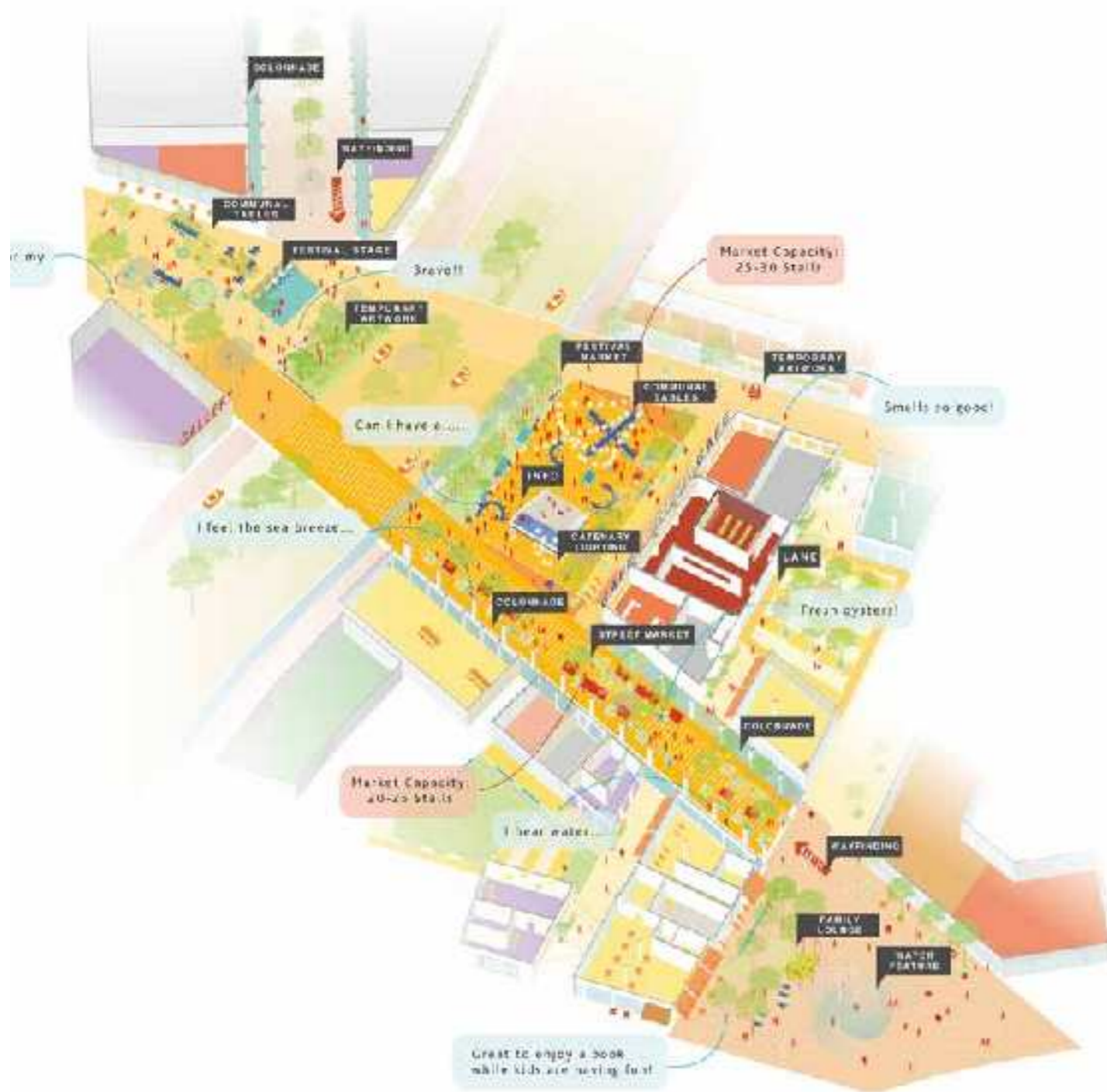


Figure 5.137 Axonometric diagram showing event mode between squares and the primary street



Figure 5.138 Axonometric diagram showing an everyday mode between squares and the primary street

5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan

5.6.11.6 POCKET SQUARE

The Pocket Square is in an important focal point along both the Lane and Rue de L'etau. It offers an intimate spill-out from retail away from the prevailing winds and adjacent roads. Benefiting from good late morning to afternoon sun, this 660sqm square is the perfect place for local residents to have lunch or grab a coffee.

1. Arcade connections to the Lane and Primary Street
2. Finer grained materials such as gravel and stone setts
3. Tightly clustered tree grove with seasonal variation
4. Fixed furniture underneath tree grove

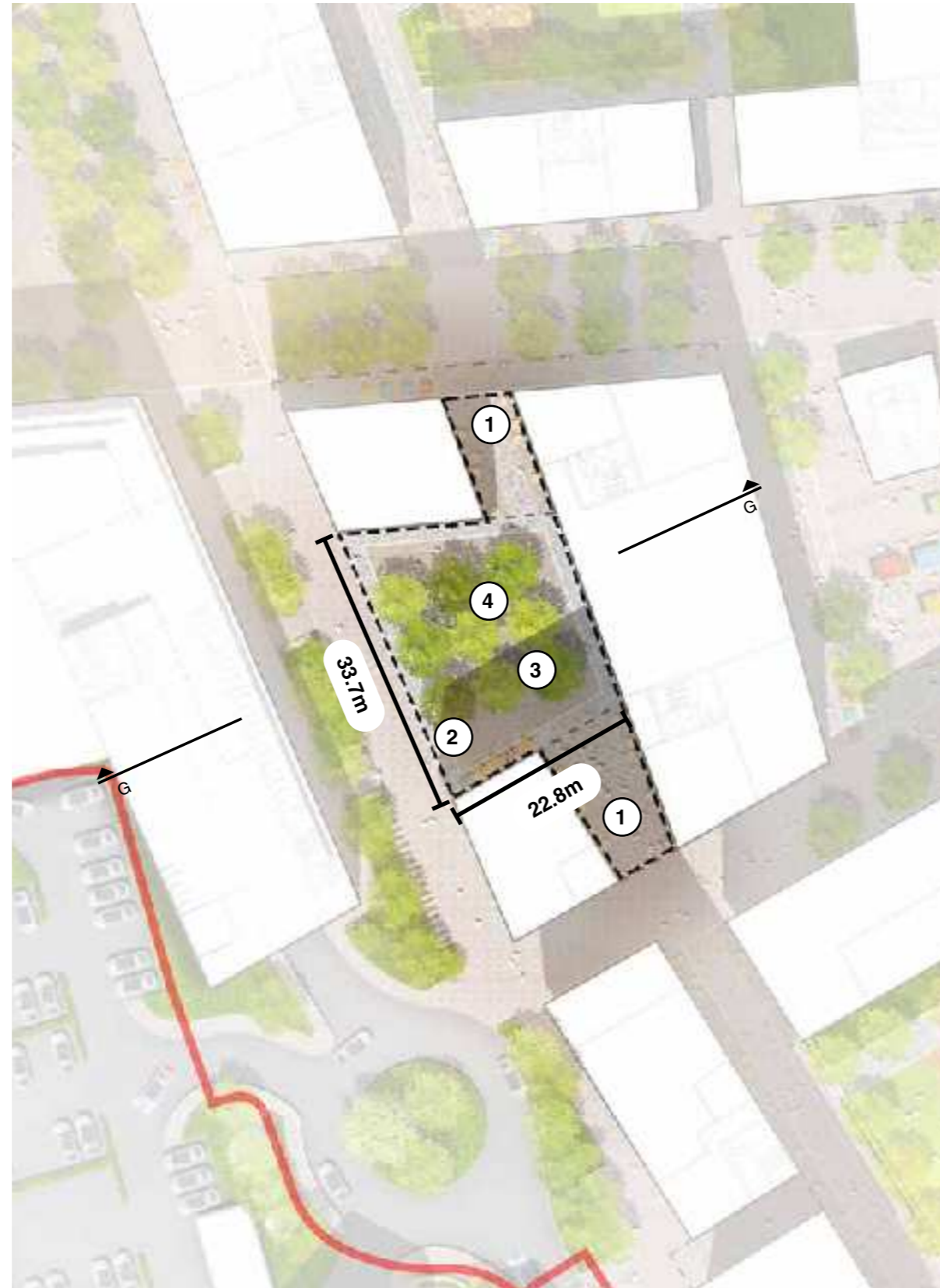


Figure 5.139 Detail plan Pocket Square



Figure 5.140 Dappled light created by deciduous trees

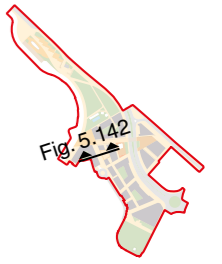


Figure 5.141 Combination of flexible and fixed furniture

5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan



5.6.11.6 POCKET SQUARE

1. Arcade connections to the Lane and Primary Street
2. Finer grained materials such as gravel and stone setts
3. Tightly clustered tree grove with seasonal variation
4. Fixed furniture underneath tree grove
5. Residents amenity terrace with façade upstand enclosure
6. Proposed basement with public motorcycle parking
7. Residents terraces
8. Swale planting on Rue de L'etau
9. Pedestrian street to the Waterfront Square

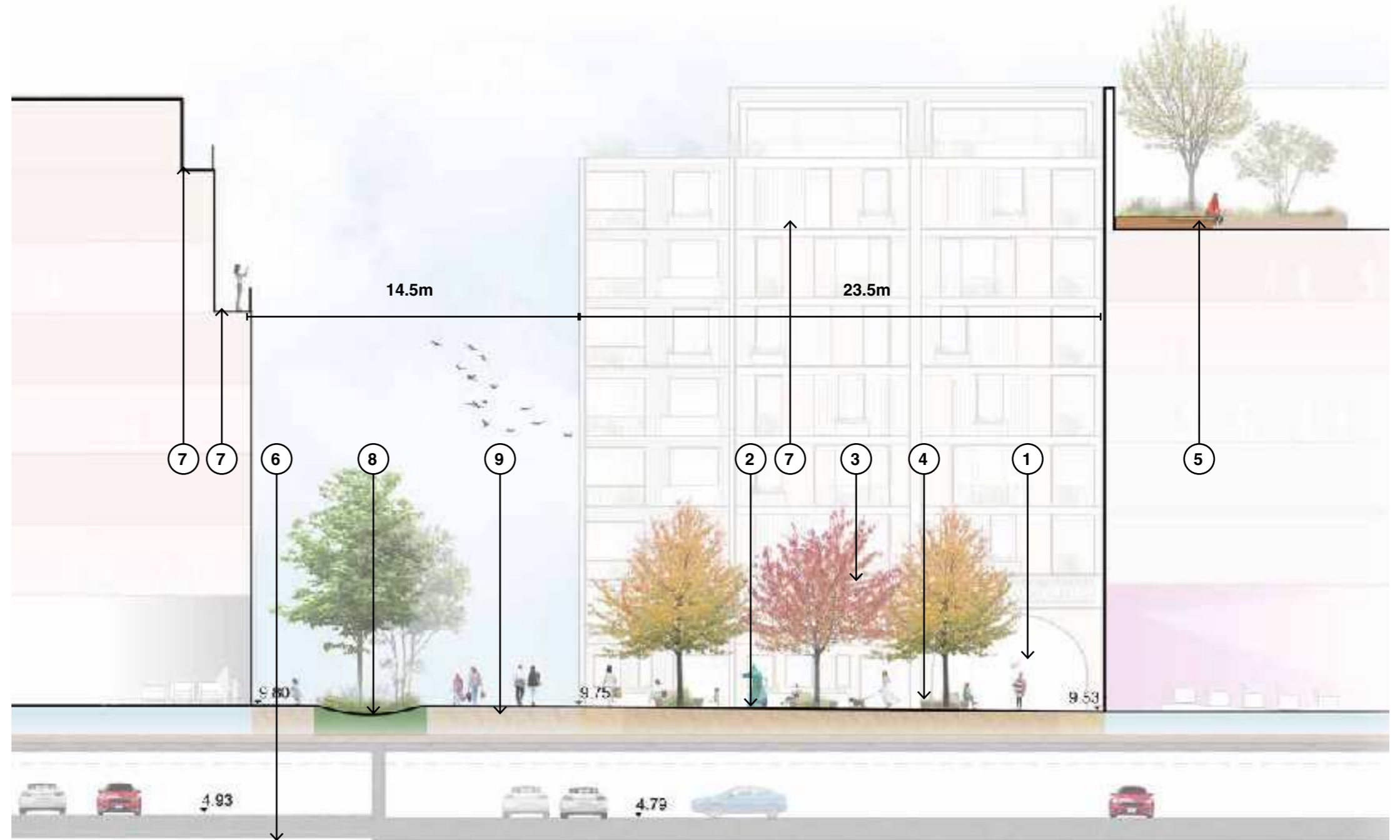
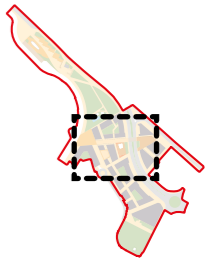


Figure 5.142 Section G-G looking North towards Waterfront Square

5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan



5.6.11.7 PRIMARY STREET

The primary pedestrian street connects the Esplanade back to the Waterfront. A generous width of 12m allows for a boulevard of trees and facilitates a blue infrastructure corridor.

1. Generous rain garden planting beds line the boulevard and include stepping stones for informal play opportunities
2. Mature trees at a maximum of 8m spacing create a human scale
3. A tighter spacing of trees at seaward end acts as wind mitigation from prevailing winds
4. An offset of 3m from the buildings allows for façade maintenance and spill-out where required. 3.5m colonnades either side of the street provide further shelter from wind and rain along the boulevard route
5. A pedestrian priority 4m central space also facilitates emergency and servicing access
6. The street tapers out subtly into Square spaces either end.



Figure 5.143 Detail plan of Primary Street



5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan

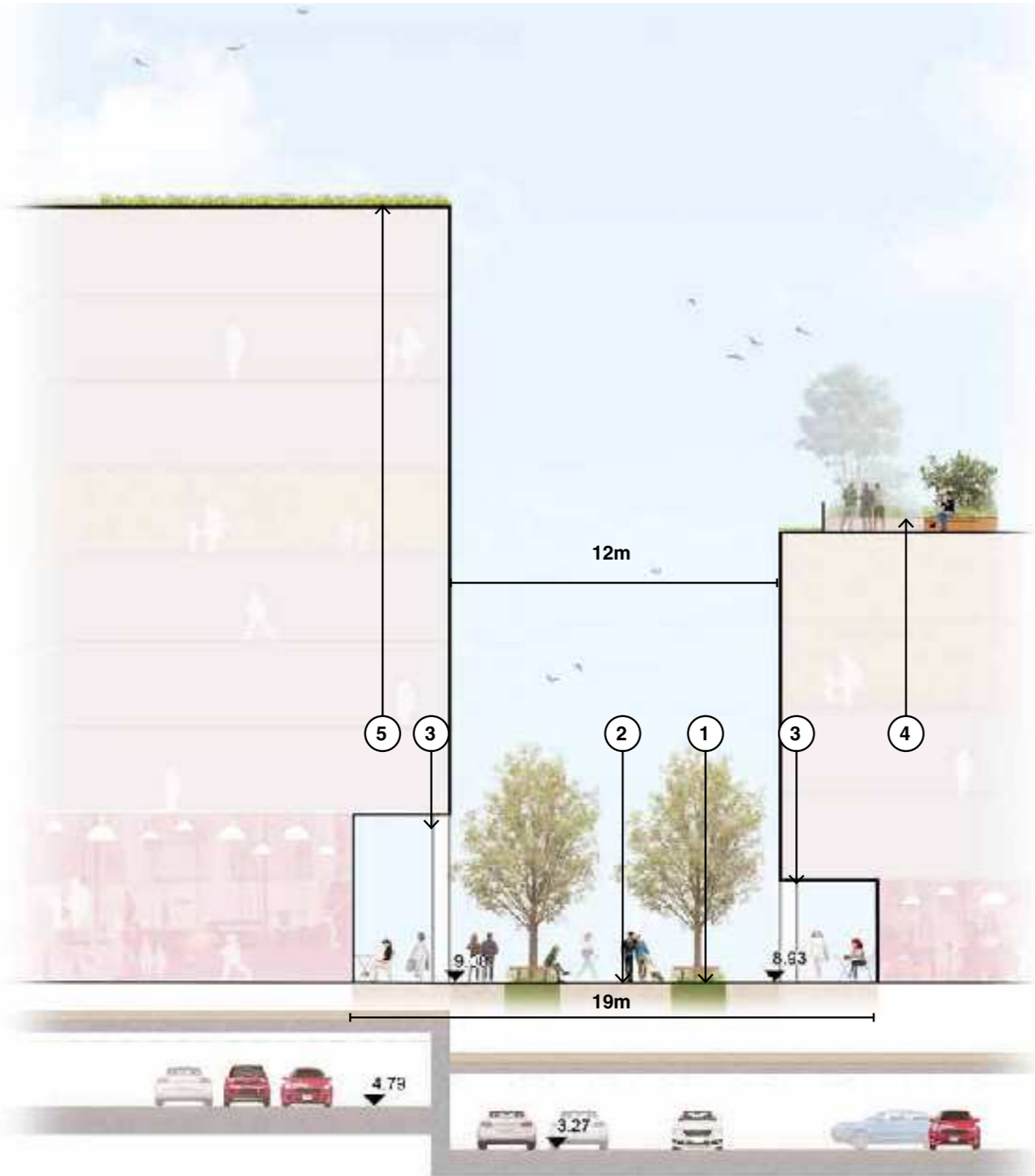
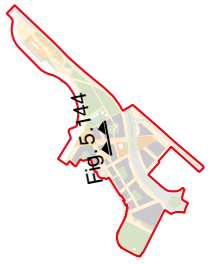


Figure 5.144 Section H-H looking West towards the Waterfront Square



Figure 5.145 Leafy pedestrian street

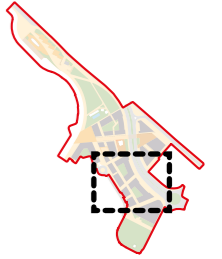
5.6.11.7 PRIMARY STREET

1. Rain garden planting
2. 4m pedestrian central space
3. Colonnades with lighting animate the street at night
4. Residents terrace
5. Biodiverse roof planting

5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan



5.6.11.8 SECONDARY STREETS

The secondary streets run along the east-west axis. These shorter streets connect to existing pedestrian routes such as Castle Street and the Horizon development's connections.

1. Trees at maximum of 10m spacing
2. Tightened tree spacing at prevailing wind junctions
3. Long connected rain garden planting beds
4. Cycle stands

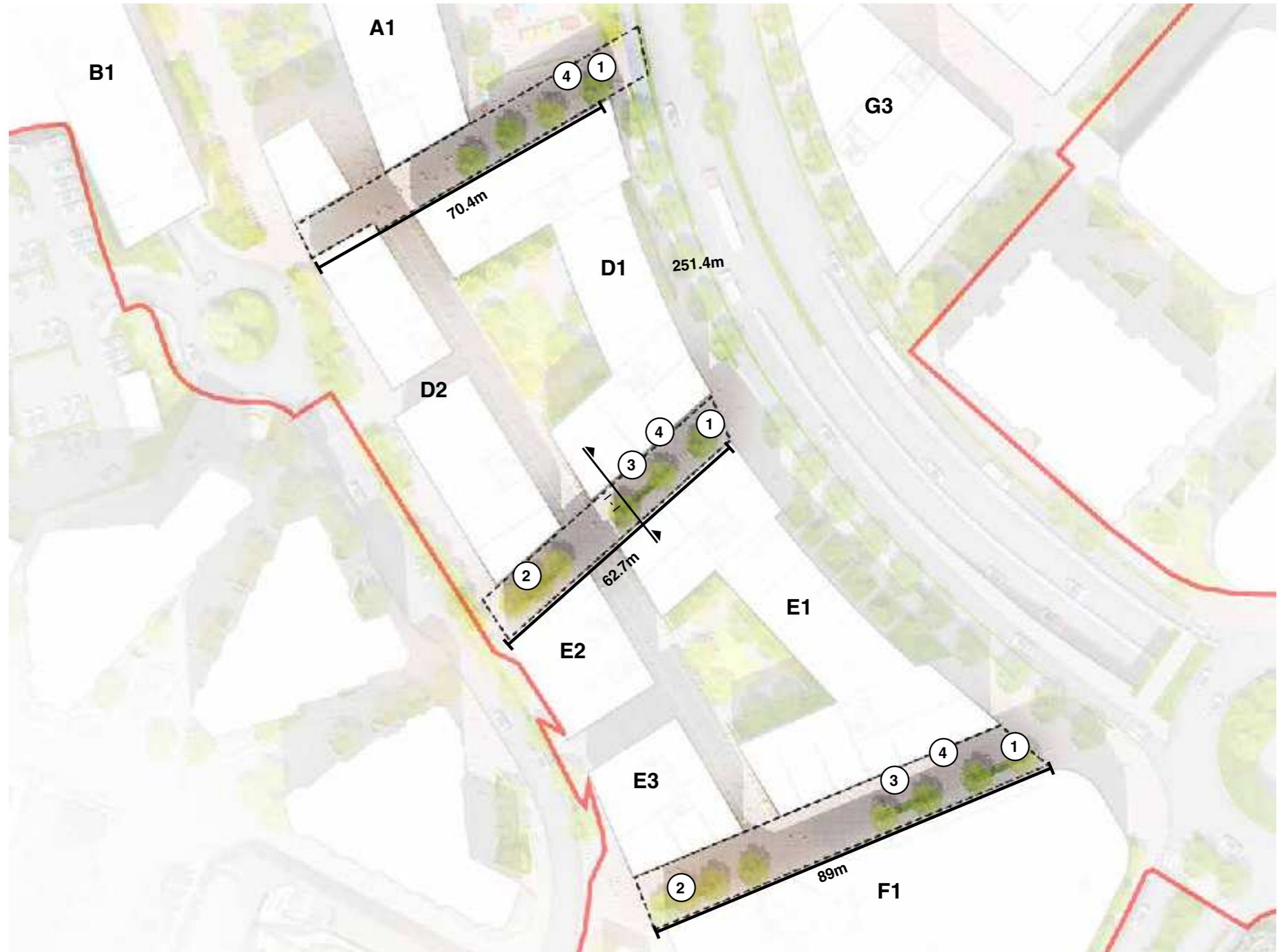


Figure 5.146 Detail plan of secondary streets

5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan

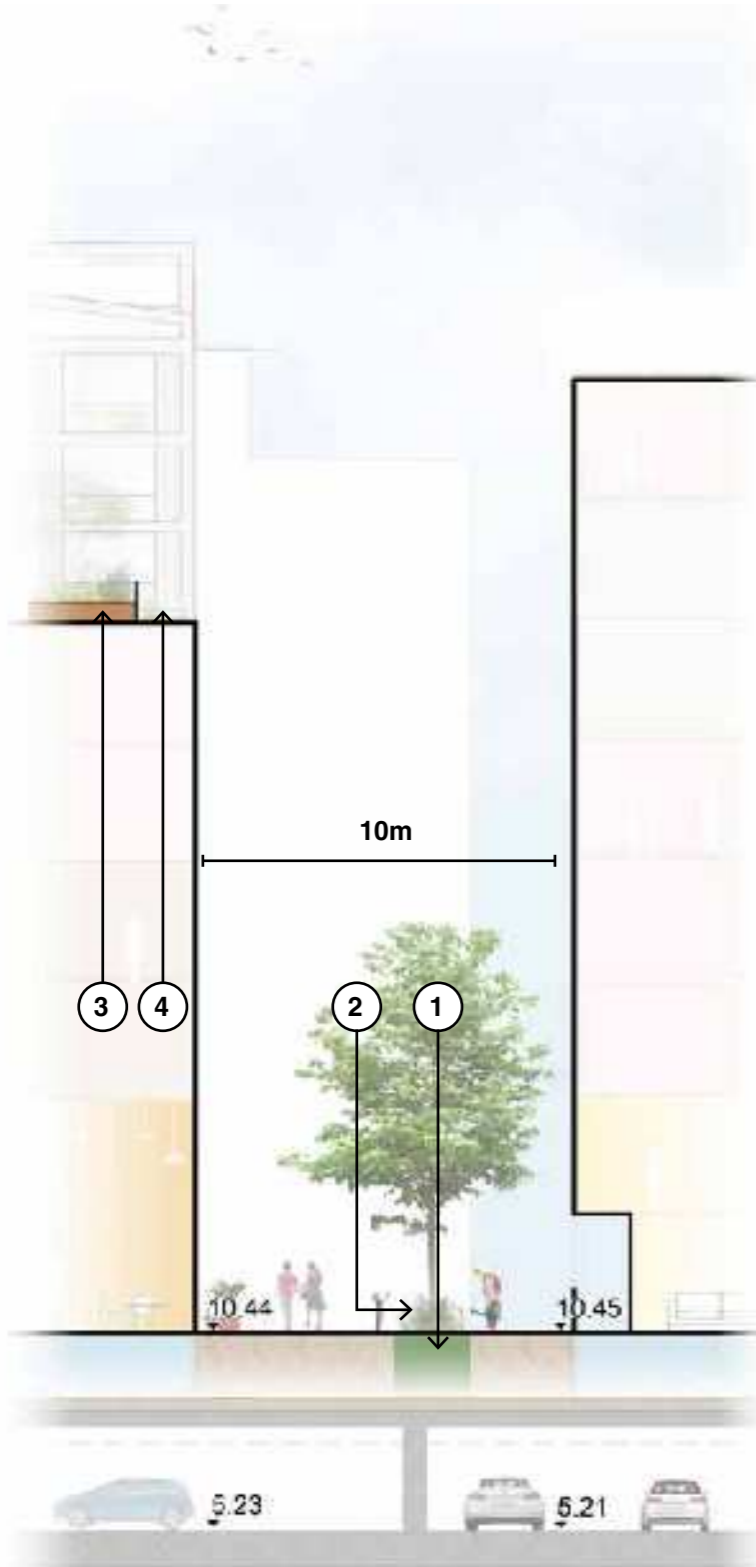


Figure 5.147 Section I-I looking East through secondary street



Figure 5.148 Dense planting



Figure 5.149 Human-scale street

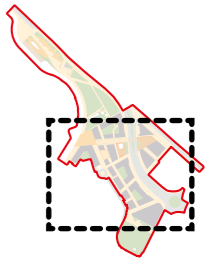
5.6.11.8 SECONDARY STREETS

- 1. 2m wide connected rain gardens
- 2. Cycle stands
- 3. Resident's terrace
- 4. Biodiverse planting

5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan



5.6.11.9 THE LANE

The Lane is a sheltered pedestrian axis running north to south, connecting the Park to the Leisure Centre and the Castle Street Junction.

The route offers an intimate, quiet and wind sheltered alternative to move through the site on a windy or wet Jersey day.

The lane runs through four parcels, each one no more the 60m in length and further broken down by connections to Rue de L'etau. The pedestrian is guided along the lane by a series of retail units at corners, artwork, lighting catenary and signage. The design of the Lane draws on local street character as well as international precedents. These residential lane precedents prioritise cycle and pedestrian movement, include catenary lighting and evolve to reflect the people who inhabit them. Many of these streets are envisaged to be personalised by residents over time. They will feel like someone's front door and a well loved place.

1. Green vistas along the lane adding layer to the pedestrian journey
2. Grain and variation within paving materials create an intimate scale
3. Private communal gardens complement and soften the lane
4. Entry to leisure building and park planting bookend the lane
5. Catenary lighting

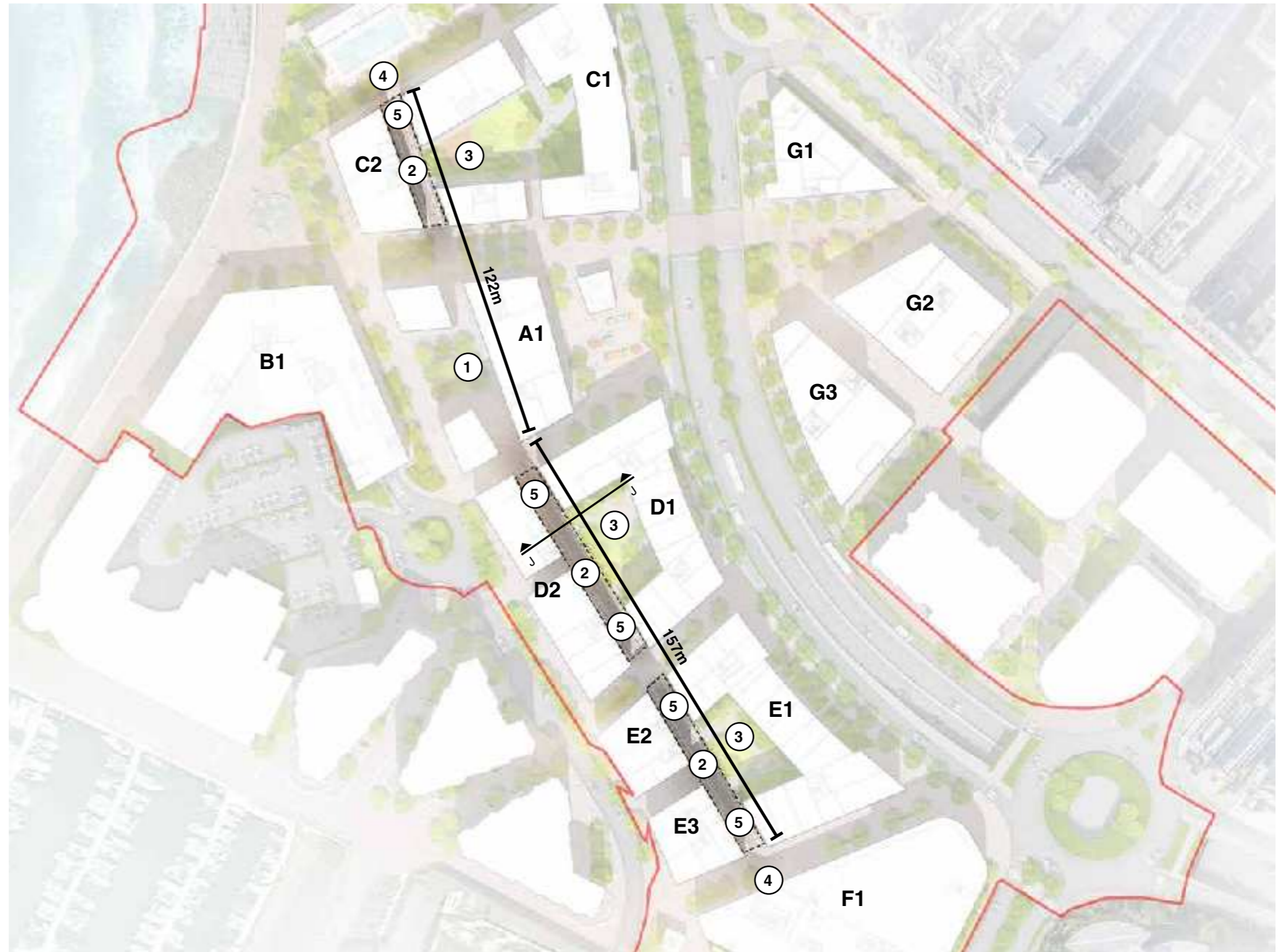


Figure 5.150 Detail plan of the Lane

5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan

5.6.11.9 THE LANE

1. Pedestrian lane and emergency vehicle access route
2. Paving variation to reduce scale of the lane and take cues from the town's grain and fabric
3. Light catenary
4. Defensible edge to private communal courtyards
5. Residents private communal terraces
6. Private terraces
7. Arcade connection to pocket square
8. Proposed basement



Figure 5.151 Neighbourhood street party



Figure 5.152 Section J-J looking North towards Pocket Square

5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan



Figure 5.153 Axonometric and vignettes detailing the sequence of experiences along the lane

5.6.11.9 THE LANE

The Lane will do more than get users from A to B - it should be dynamic and offer a variety of experiences ranging from art, play, dining, people watching and meeting places. The lane will include many points of interest including places to sit, interpretation and cafe spill-out. Glimpses of green along the routes, retail and secondary lobby entries will help draw pedestrians down this intimate journey.

Equally, the Lane can host events. It could be the backdrop to a neighbourhood street party lined with communal tables, face painting, games and music.

Opportunity for artworks include commissioning local artists and architects to design arcades and murals, showcasing the rich local culture and talent of St Helier.



Figure 5.154 Sketch view looking down the lane

5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan



Figure 5.155 Illustrative view looking north along the Lane within parcel D

5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan

5.6.11.10 ARCADES

Arcade connections allow for permeability across the parcels while providing shared views of the green private amenity courtyards. Each parcel's arcades should have a unique character and add to the wayfinding and legibility of the site.

1. Arcades open during the day but secured at night
2. Permanently accessible arcades



Figure 5.156 Opportunity for unique architectural style to each arcade



Figure 5.157 Glimpses of green through arcades and varying heights

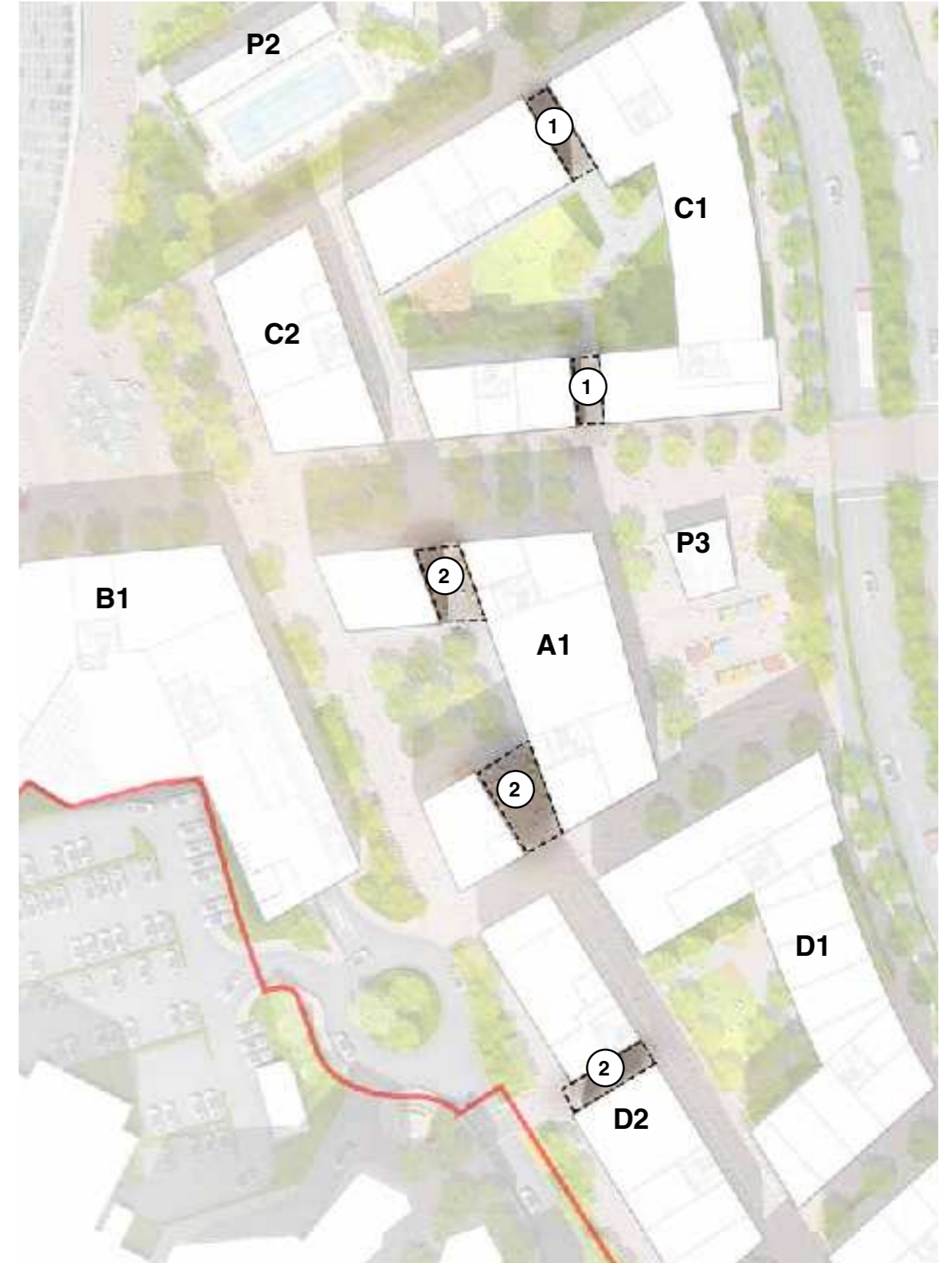


Figure 5.158 Detail plan of arcades



5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan

5.6.11.11 RUE DE L'ETAU

The Horizon development is integrated into the scheme by the streetscape improvements along Rue de L'etau. The footpath frontage and building setbacks vary between 5 and 10m to insure areas of a dense bioswale and dwell points for social infrastructure including benches and bike stands. Rue de L'etau is extended to reach the Waterfront Square, stitching the framework into its context.

1. Proposed basement entry and exit
2. Horizon basement entry
3. Radisson Blu car park entry
4. Existing roundabout and Pinus pinea (Stone Pines) are retained
5. Single Pinus pinea retained
6. New bus shelter and set down within carriageway
7. 1.5m rain garden with trees
8. 3.3m rain garden with trees and integrated seating
9. 5m wide and 70m long bioswale with garden rooms integrated
10. Cycle stands
11. Existing road width retained
12. Existing street frontage is widened
13. Pedestrian crossings connecting to Elizabeth Marina



Figure 5.159 Wide bioswales with pedestrian routes through



Figure 5.160 Seating rooms integrated within bioswales

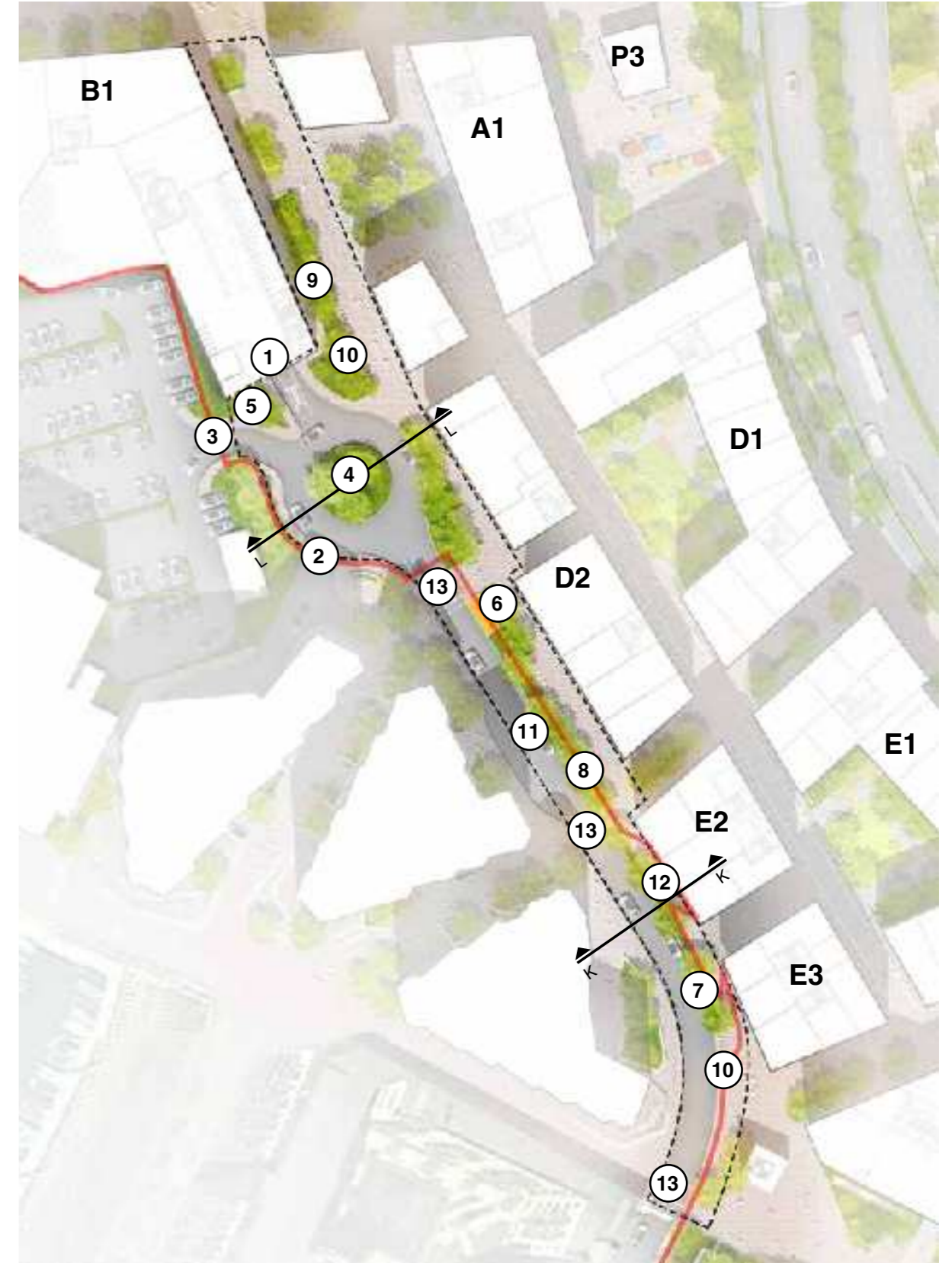
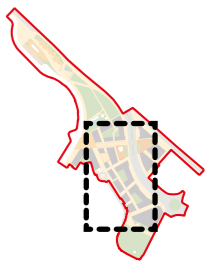


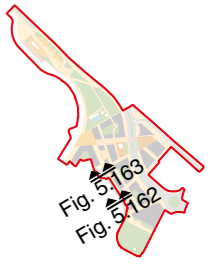
Figure 5.161 Detail plan Rue de L'etau



5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan



5.6.11.11 RUE DE L'ETAU

1. Proposed basement entry and exit
2. Existing roundabout and Pinus pinea (Stone Pines) are retained
3. 1.5m rain garden with trees
4. 3.3m rain garden with trees and integrated seating
5. Existing road width retained
6. Existing street frontage is widened
7. Horizon
8. Residents terrace



Figure 5.162 Section K-K looking North cutting through Horizon frontage



Figure 5.163 Section L-L looking North through the roundabout looking towards block B1

5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan

5.6.11.12 LA ROUTE DE LA LIBÉRATION

To achieve the vision of a de-engineered road, the proposal includes at grade crossings, a planted central median verge, planting along the kerb line and planted tree swales on either side of the street. These requirements have informed the extent of the plots to ensure the street is transformed from an arterial corridor to a lush, green street. It is envisaged that over time and with the GoJ incentives to decrease private car use, that the road can be further downgraded to reduce lanes.

For further information refer to the Transport Assessment report.

1. Single-stage pedestrian and cycle crossing to Gloucester Street
2. Single-stage pedestrian crossing running in a single sequence to the public squares
3. 3m wide dedicated two-way cycle lane
4. Up to 5m wide planted central median with trees
5. 1m wide kerbside planting and 1m wide swales with tree planting along either side of the road
6. Wide buffer planting to squares to protect public amenity space
7. Additional setback for defensible planting to duplex units
8. Upgraded planting to La Route du la Port Elizabeth roundabout and pedestrian islands
9. Existing zebra crossing



Figure 5.164 A dedicated cycleway protected by planting



Figure 5.165 Planting used to separate the cyclist from pedestrians and vehicles

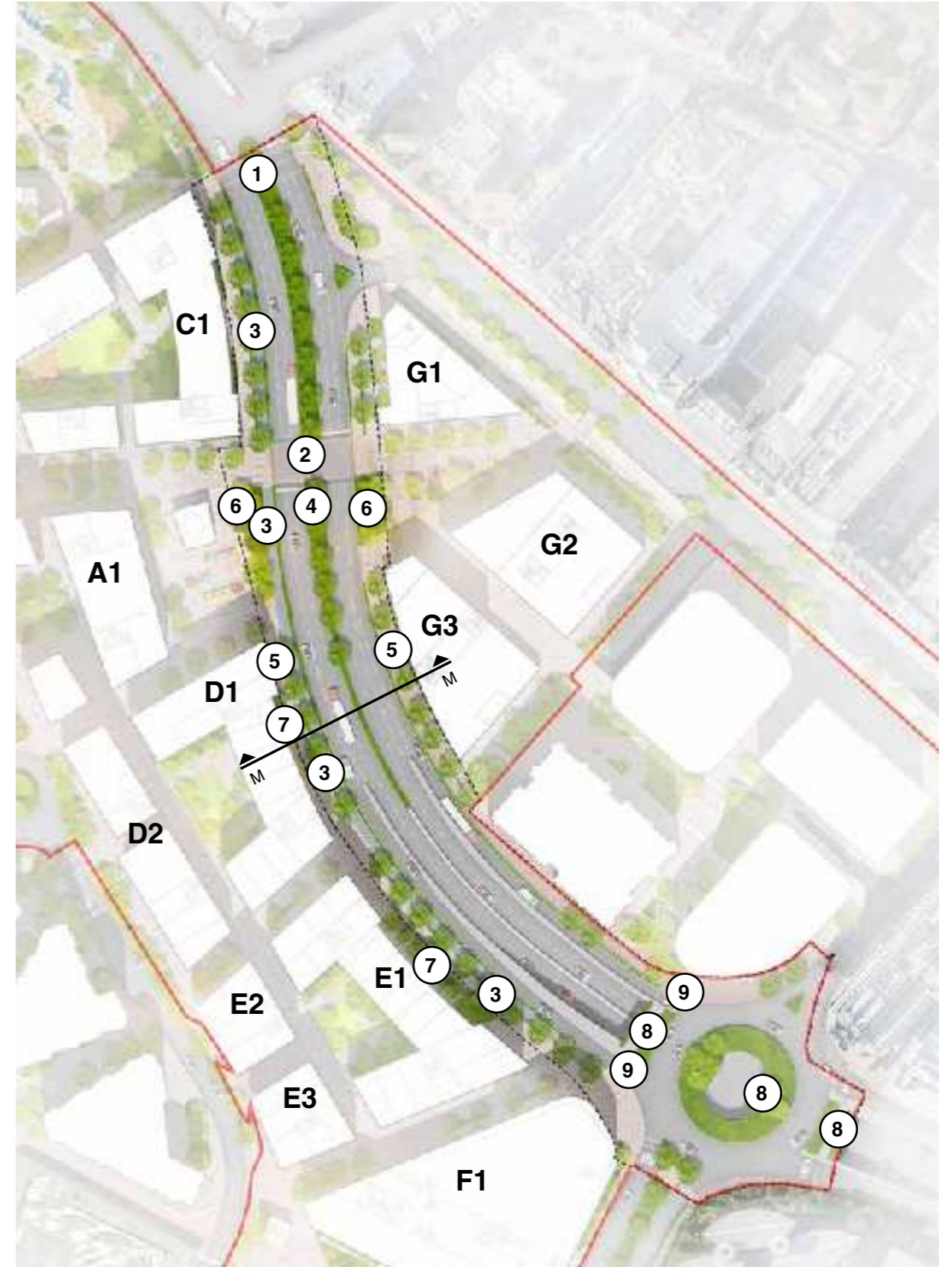
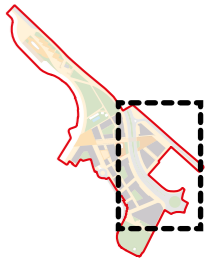


Figure 5.166 Detail plan La Route de la Libération



5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan



5.6.11.12 LA ROUTE DE LA LIBÉRATION

1. Existing lane configuration maintained. Slight realignment of kerbs to accommodate planted median while maintaining lane width
2. 3m wide dedicated two-way cycle lane
3. Planted central median swale with trees
4. 1m wide kerbside planting
5. 1m wide rain garden with tree planting along either side of the road
6. 2.5-7m wide additional setback for defensible planting to duplex units
7. 4m wide pedestrian footpath
8. 3m wide pedestrian footpath
9. Proposed basement
10. Private-communal amenity terrace



Figure 5.167 Section M-M looking North along La Route de la Libération

5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan

5.6.11.12 LA ROUTE DE LA LIBÉRATION

Following the original outline submission the JAC gave feedback in relation to the proposed massing along La Route de la Libération and the potential for heights of Blocks D and E to result in a 'canyon effect' along the road. As a result, the design team undertook rigorous testing of the design proposals, looking at case studies of similar scale built form and modelling the experience of a pedestrian journey along the route to understand the effects of proportion, massing and landscape design on pedestrian experience. Extracts from this study are presented on the following pages.

The conclusion of this study was that the canyoning effect is more a product of the proportions and character of space than arbitrary height and the scale of development along La Route de la Libération, which is considered to be in proportion to the width of the road and is significant. Furthermore there is a danger that lower buildings could feel out of proportion with the scale of the corridor. The proposed massing includes frontages which step in and out as well as having some variation in height to avoid creating a monotonous frontage. The length of frontages has been determined with consideration for the urban grain of St. Helier and the pattern and scale of frontages, north to south pedestrian routes and generous public spaces at the Central Square and Jardins de la Mer, all of which are more appropriate and conducive to a varied and interesting pedestrian experience.

Buildings are set back by circa 9-12m along the road to allow for generous footways, cycle paths, rainwater swales and buffer planting which are all captured within the design codes. Space is also allowed for broad canopied tree planting which will greatly enhance the pedestrian experience. These measures will serve to bring down the scale, soften and green the spaces and greatly enhance the quality of pedestrian and cycle experience from the current situation.

This study was presented back to GoJ prior to the addendum submission and it was considered that the proposals addressed the aims of the SPG in the design of public realm along La Route de la Libération.



Figure 5.168 Viewpoint 1 looking north from Block F1 corner - existing condition



Figure 5.170 Viewpoint 2 looking north from Block E1 frontage - existing condition



Figure 5.169 Viewpoint 1 looking north from Block F1 corner - proposed condition



Figure 5.171 Viewpoint 2 looking north from Block E1 frontage - proposed condition

5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan

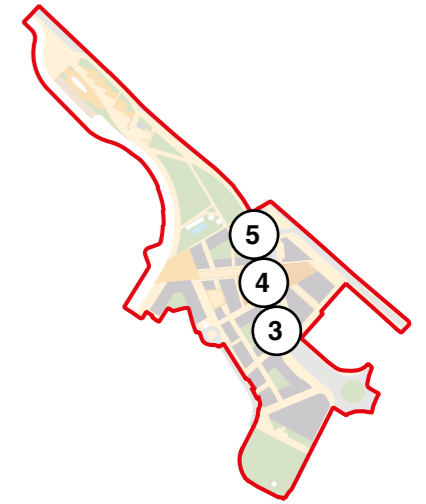


Figure 5.172 Viewpoint 3 looking north from Block D1 frontage - existing condition



Figure 5.174 Viewpoint 4 looking north from Central Square - existing condition



Figure 5.176 Viewpoint 5 looking north from Block C1 frontage - existing condition



Figure 5.173 Viewpoint 3 looking north from Block D1 frontage - proposed condition



Figure 5.175 Viewpoint 4 looking north from Central Square - proposed condition



Figure 5.177 Viewpoint 5 looking north from Block C1 frontage - proposed condition

5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan

5.6.11.12 LA ROUTE DE LA LIBÉRATION

SCALE COMPARISON: THE ESPLANADE

1. 17.5m carriageway
2. 13.5m southern footway
3. 3m northern footway
4. Building height average 5 floors

The Esplanade proportions are comparable to those proposed at La Route de la Libération. The wide corridor and generous southern footway relative to building height create an environment which feels human in scale and comfortable to pedestrians.

The lack of significant greening detracts somewhat from the quality of the public realm environment.



Figure 5.178 Esplanade proportions

SCALE COMPARISON: GLOUCESTER STREET

1. 8m carriageway
2. 2.5m western footway
3. 2m eastern footway
4. Building height 5-7 floors

The proportion of building height to corridor width at Gloucester Street is considerably greater than the proposed La Route de la Libération. The space feels canyon-like and uncomfortable as a pedestrian. Narrow footways and a lack of greening further impact the quality of pedestrian experience.



Figure 5.180 Gloucester Street proportions



- LA ROUTE DE LA LIBERATION (PROPOSED)

- THE ESPLANADE

Figure 5.179 Esplanade scale comparison



- LA ROUTE DE LA LIBERATION (PROPOSED)

- GLOUCESTER STREET

Figure 5.181 Gloucester Street scale comparison

5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan

5.6.11.12 LA ROUTE DE LA LIBÉRATION

SCALE COMPARISON: THE ELEPHANT PARK

1. 12-13m carriageway
2. 2.5m kerbside rain garden
3. 4m pedestrian footway
4. 3m inner footway
5. 3m two-way cycleway
6. 1.5 - 5.5m planted strip with existing trees
7. 1.5 - 6m spill-out
8. Circa 7-10m offset from tree centre to facade
9. Building height 10 - 30 floors

New Kent Road and Walworth Road within the Elephant Park development in Southwark are similar width corridors to La Route de la Libération whilst building height is generally taller at 10-30 storeys. Both roads are busy TfL red routes.

Buildings are set back to allow generous footways and cycleways and spill-out from active frontages whilst planting strips are provided as a separation between road and footway and as a buffer to building edges. Sufficient space is allowed for new and existing broad canopied trees to flourish.

The public realm design and proportions are very similar to what is coded for on La Route de la Libération and the scheme demonstrates how these elements can significantly enhance the pedestrian environment.



Figure 5.182 New Kent Road proportions



Figure 5.183 Walworth Road proportions



Figure 5.184 Planting buffers the busy road



Figure 5.185 Broad canopied trees humanise scale



Figure 5.186 Planting and street furniture create accessible, comfortable public realm

5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan

5.6.11.13 THE ESPLANADE

The Esplanade poses great importance to the town being the former waterfront promenade prior to reclamation. Today, this portion of the street is largely inactive with frontage to an open air car park and a large number of motorcycle parking spaces. The proposals seek to continue the streetscape improvements fronting the IFC including new high quality materials and an informal two way cycleway. The scheme retains the existing heritage seawall where possible and integrates it within a garden setting with seating and lush planting.

1. Continuation of two-way cycle lane as proposed outside of the IFC
2. Existing seawall retained
3. New planted garden frontage with integrated seating and communal tables
4. Existing rear wall re-purposed as kerb stone between cycleway and pedestrian footpath
5. Planted verge with street trees at 10m spacing
6. New pedestrian crossings
7. Service lay by
8. Basement entry
9. Bus gateway design. The design shown reflects IHE's design at the time of this application and is subject to a separate application by IHE
10. Existing junction alignment onto La Route de la Libération retained as per IHE proposals
11. Upgrades to existing footpath including new planted tree pits

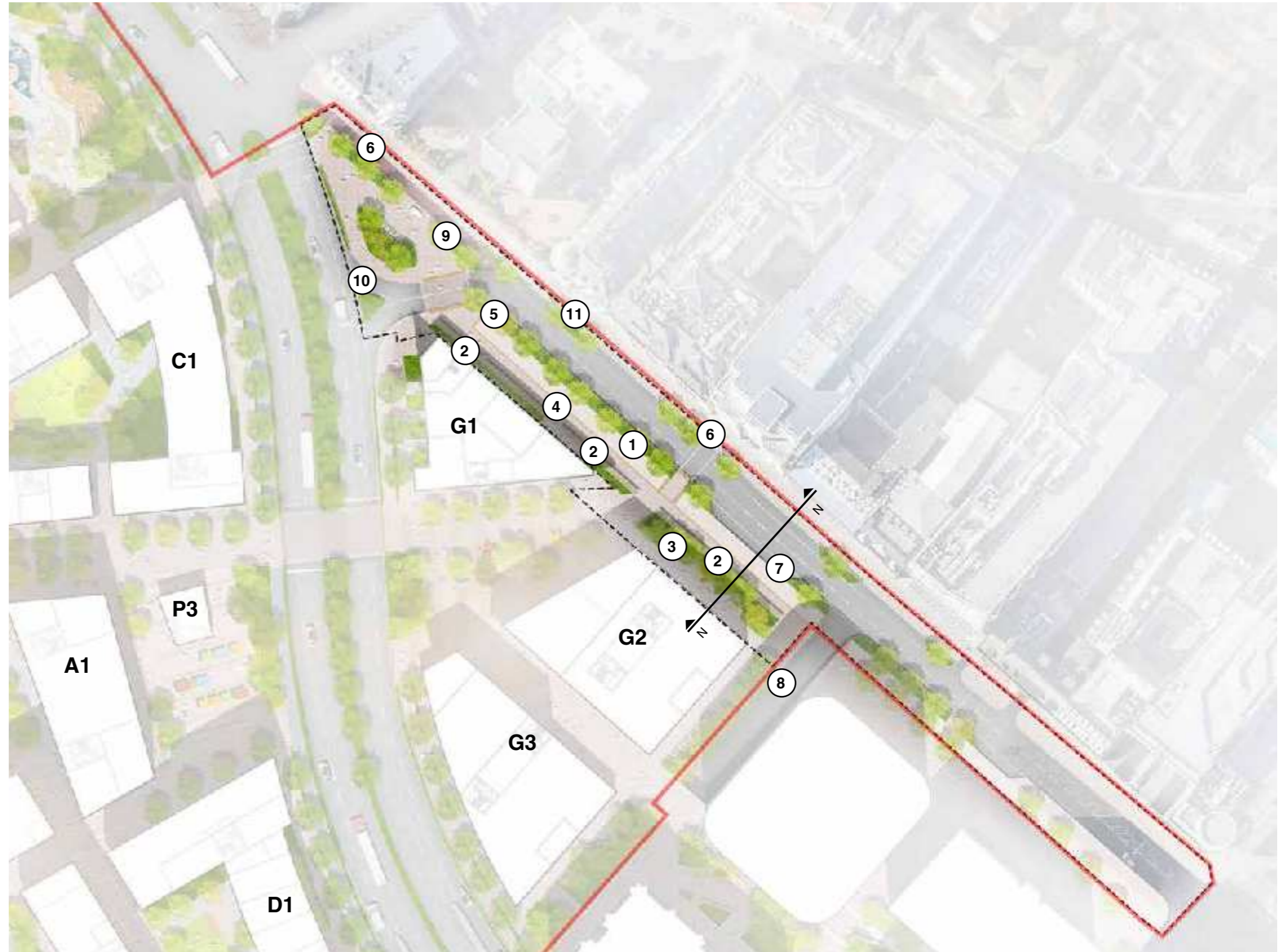


Figure 5.187 Detail plan of The Esplanade

5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan

5.6.11.13 THE ESPLANADE

1. Continuation of 4m wide two-way cycle lane as proposed outside of the IFC
2. Existing seawall retained
3. New planted mounded garden frontage with integrated seating and communal tables
4. Existing rear wall is re-purposed as a kerb stone between the cycleway and pedestrian footpath
5. 2.8m wide painted verge with street trees at 10m spacing
6. Proposed basement
7. Commercial tenants terrace



Figure 5.188 Pocket gardens set along heritage seawall

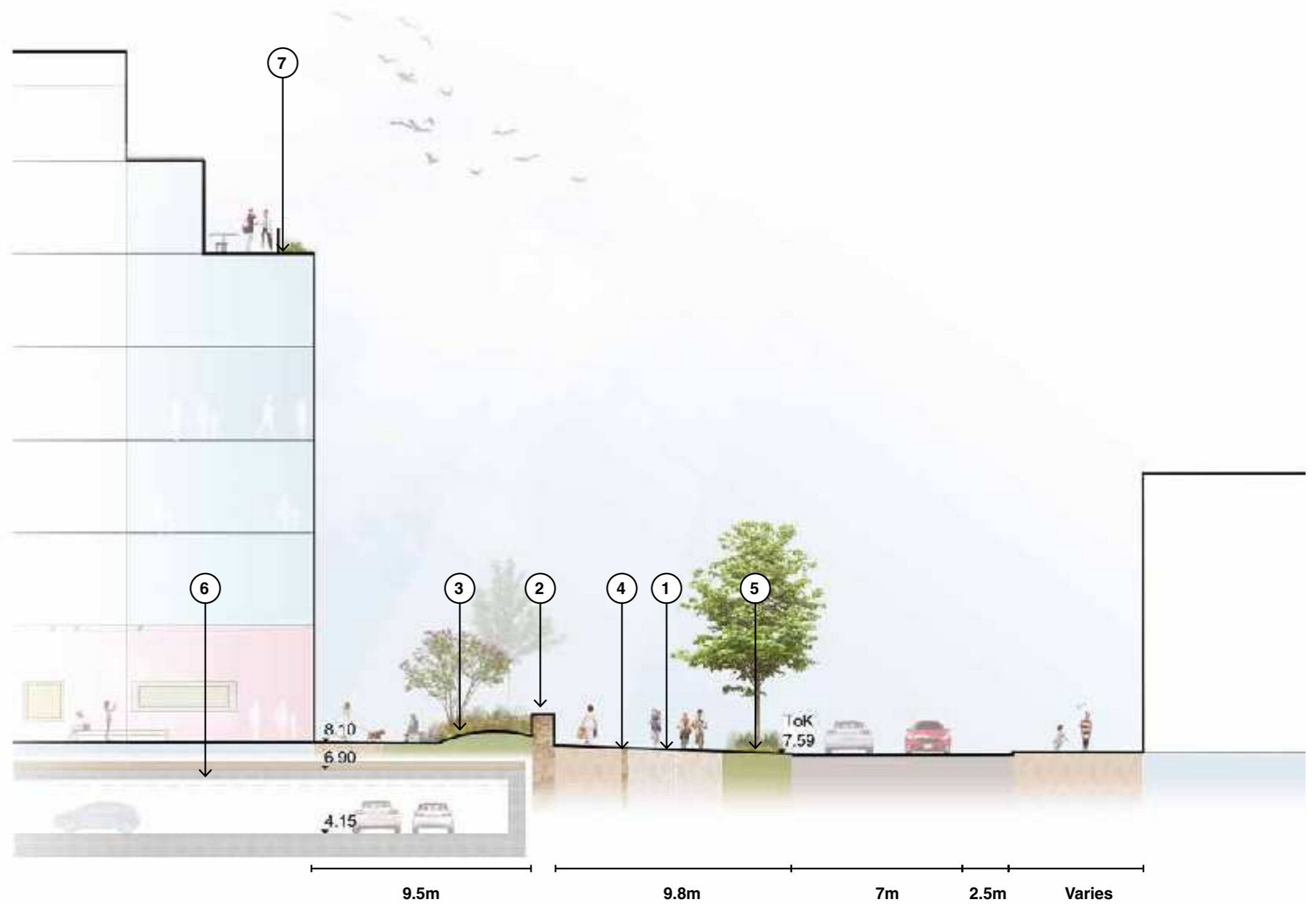


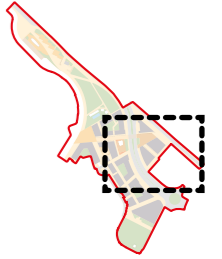
Figure 5.189 Section N-N looking North down the Esplanade



5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan



5.6.11.14 ESPLANADE SECONDARY STREETS

1. Planted buffer to basement entry
2. Cycle stands integrated within planting
3. Offset to commercial buildings
4. Colonnade and covered spill-out zone
5. Integrated seating and communal tables
6. Breaks within planting to align with potential future entries
7. Pedestrian connection from the Trenton Square to the Esplanade Square



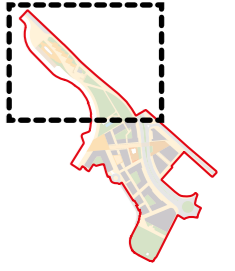
Figure 5.190 Diagram of Esplanade Secondary Streets



5. The Framework

5.6 Framework Concept

5.6.11 Framework Plan



5.6.11.15 VICTORIA AVENUE AND THE ESPLANADE

The interface to Victoria Avenue and The Esplanade from West Park to Gloucester Street has been carefully coordinated with IHE and includes flexibility for future proposals associated with the proposed new Hospital development and potential junction reconfiguration.

1. Minimum of 7.8m wide footpath
2. Cyclists are discouraged from using the northern portion of the footpath to avoid clashes with pedestrians at the bus stop and are encouraged to use the shared promenade until approaching the Gloucester Street junction. This can be encouraged through use of materials and signage
3. Bus Stop
4. Dedicated bus lay by
5. Planted rain garden to kerbside
6. Beginning of two-way cycleway towards Castle Street and further east towards the Marina
7. Minimum footpath width of 4m



Figure 5.191 Detail plan Victoria Avenue and the Esplanade

5. The Framework

5.6 Framework Concept

5.6.12 Open Space Quantum

The site today is largely car parking with an existing open space provision only in Les Jardins de la Mer and Marina Gardens.

There is little joy for pedestrians on the journey from town to the waterfront and limited offers to encourage people to dwell. The Island Plan advocates for the quality of the public realm to be a key determinant of the success of the St Helier Waterfront and Esplanade Quarter.

The Framework delivers 68,528 sqm of accessible open space. This can be divided into the categories below:

- 57.2 % of total site area (65,720 sqm) publicly accessible open space
- 2.4 % of total site area (2,808 sqm) private communal ground floor amenity space

The private communal amenity spaces could also be considered as visually accessible amenity space providing green views and vistas through the lane and arcades.

The publicly accessible spaces are to be inclusive for all users, with step free access, seating and play facilities. Lighting for all hour access and wayfinding signage add to the use and enjoyment of these spaces. The interface with the adjoining built form is critical to the success of the public realm and the design team has coordinated the design to ensure a synergy between internal and external uses.

Legend


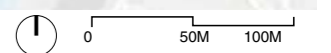
-  Site boundary
-  Proposed development
-  Public open space
-  Private communal space
-  Arcades which are publicly accessible during day time only



Figure 5.192 Diagram of open space



5. The Framework

5.6 Framework Concept

5.6.13 Private and Communal Space Quantum

Within the Framework, 13,392m² of private amenity spaces and private communal amenity spaces are defined and separated from the public realm. While the majority of the site is publicly accessible, there is a requirement to provide a degree of enclosure and privacy for residents, especially for ground floor apartments and terraces.




Activation of ground floors of all buildings is critical for the development of a viable and safe public realm, however these residences require a partially enclosed and screened private space to separate them from the circulation activities of the general public use of the site.

Podium amenity spaces consider aspect and micro-climate and where appropriate wind screens and architectural façade upstands to provide enclosure and shelter.



Figure 5.193 Diagram of private communal space

Legend

-  Site boundary
-  Non-accessible roof space (plant and lift cores, inaccessible green roof area)
-  Private and communal open space

5. The Framework

5.6 Framework Concept

5.6.14 Tree Strategy

TREE REMOVAL AND RETENTION

An Arboricultural Impact Assessment and survey of existing trees on site have been carried out and assessed all existing trees for quality and longevity, and the impact of the proposed development. This information has been considered within the context of the overall Framework and approach to development and site levels.

Efforts were made to retain existing trees where feasible, given the broad scale redevelopment and changes to levels within the site boundaries and the complexity of the basement. To facilitate the Framework and through changes to existing levels for flood defence, a number of existing trees will be removed. As set out in the Arboricultural Impact Assessment, a number of other existing trees have been recommended to be removed due to unsuitability or poor quality, regardless of the type of development on site. Where possible removal is kept to a minimum.

The tree loss is compensated by a comprehensive new tree planting strategy that significantly increases tree numbers on site which increases local biodiversity and enhances the amenity value of the area. A number of adaptive and native specimens, planted at a large size will create a comprehensive greening strategy for the new development.

The majority of trees identified for removal have been classed as Category C (Trees of low quality with an estimated remaining life expectancy of at least 10 years or young trees with a stem diameter below 150mm.), Including the trees lining the Eastern side of Rue de L'etau. These will be replaced by a greater quantum of trees to ground in generous rain gardens and swales. Of the 15 existing individual Category B trees, 8 are proposed for retention. Following the advise from the arboriculturalist, the outline application does not include salvage and relocation of mature existing trees required to be moved to facilitate development. However, this will be reviewed on a case by case basis during detailed planning stages of design.

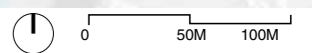
New tree planting includes 575 new trees within the public realm and 36 within private communal courtyards. Refer to the Arboricultural Impact Assessment for further information.

Legend

- Tree Retained
- Tree Removed



Figure 5.194 Diagram of trees to be removed and retained



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Figure 5.195 T45, T46 and T47, existing *Pinus pinea* to be retained



Figure 5.196 T2 to T16, existing *Acer platanoides*



Figure 5.197 Existing trees along the Esplanade near the bus station



Figure 5.198 G92, groupings of *Quercus ilex*, *Pinus sylvestris*, *Fraxinus excelsior* and *Crataegus monogyna*

5. The Framework

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5.6.14 Tree Strategy

TREE PALETTE

The tree strategy will strengthen the Framework and reinforce character areas as well as circulation and general wayfinding. The design team has worked closely with IHE's Parks and Gardens to gain local insight into suitable species, ensuring a robust and site specific design proposal.

Structural tree planting is a key feature within the Framework. The planting will have two different roles. In certain sections of the Framework it will provide a functional framework, creating a definition and buffer between public and communal amenity space. Within other sections of the Framework, the planting will enhance visual amenity and provide a distinctive identity to the various areas of the site.

The selection includes species that will allow high levels of natural light to filter through the canopy and the heights of the lower branches of the trees will allow for clear views through the Framework. The character of the trees will complement the Character Areas and the texture, colour and height will be considered when placing each tree.

Consideration of the site conditions, including micro climate, exposure to wind and salt spray, have been taken into account in the development of the tree and plant palette.

Legend













- | | |
|--|--|
|  Existing Trees retained |  Secondary Streets |
|  Waterfront - First Line of Defence |  Esplanade Secondary Streets |
|  Waterfront - West Park Gateway |  Courtyards and Play Spaces |
|  Waterfront Park |  Marina Gardens |
|  La Route de la Libération |  Rue De L'etau |
|  Public Squares |  Residential Defensible Space |



Figure 5.199 Diagram of tree strategy

5. The Framework

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5.6.14 Tree Strategy

TREE SIZE

The adjacent diagram describes the general location of site trees and their size. Trees shown vary from small specimen (2-4m high) to large feature trees (8-10m), large trees will be planted at a size of 45-70cm girth, medium trees at 25-40cm girth and small trees 14-20cm girth.

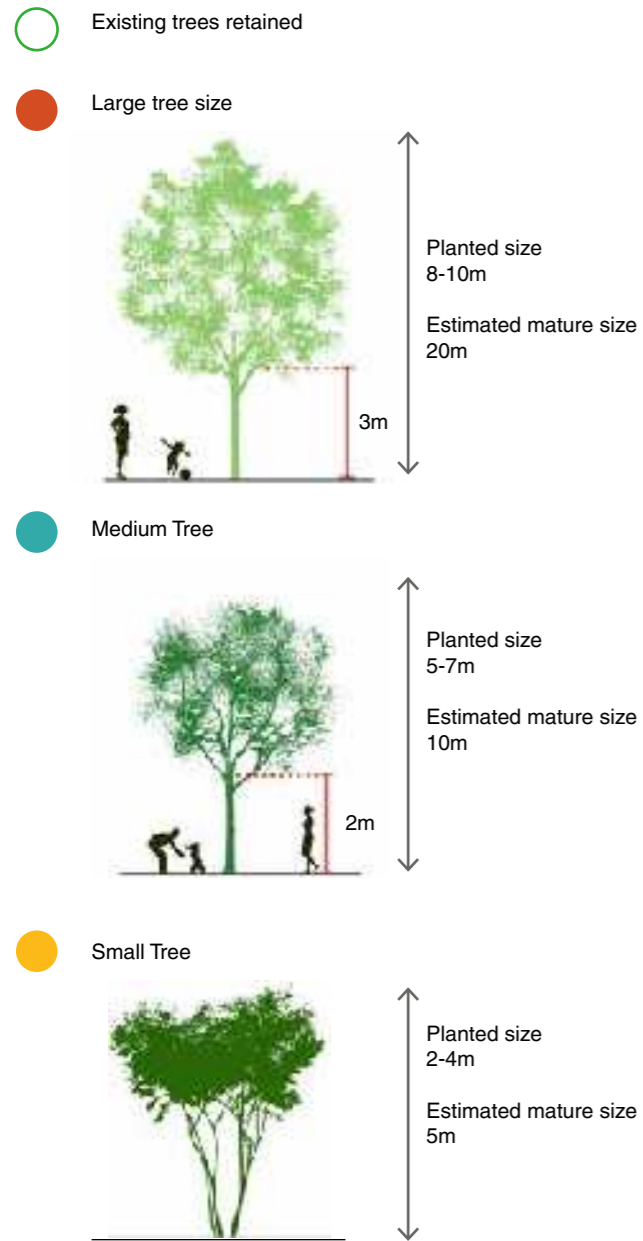
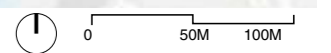


Figure 5.200 Diagram of tree size



5. The Framework

5.6 Framework Concept

5.6.14 Tree Strategy

PODIUM SOIL STRATEGY

As part of the landscape led framework, ensuring the successful, mature growth of the proposed trees has been fundamental in forming the basement strategy. This has included ensuring suitable depths and volumes for mature tree planting.

The majority of the public realm has been designed to accommodate a minimum soil depth of 1200mm. This is locally reduced to 750mm locally around G2 and G3. Where this occurs, mounding can be used to ensure suitable depth and volume. Courtyards have been designed to a minimum depth of 800mm to support smaller tree species and mounding can be utilised for larger feature species.

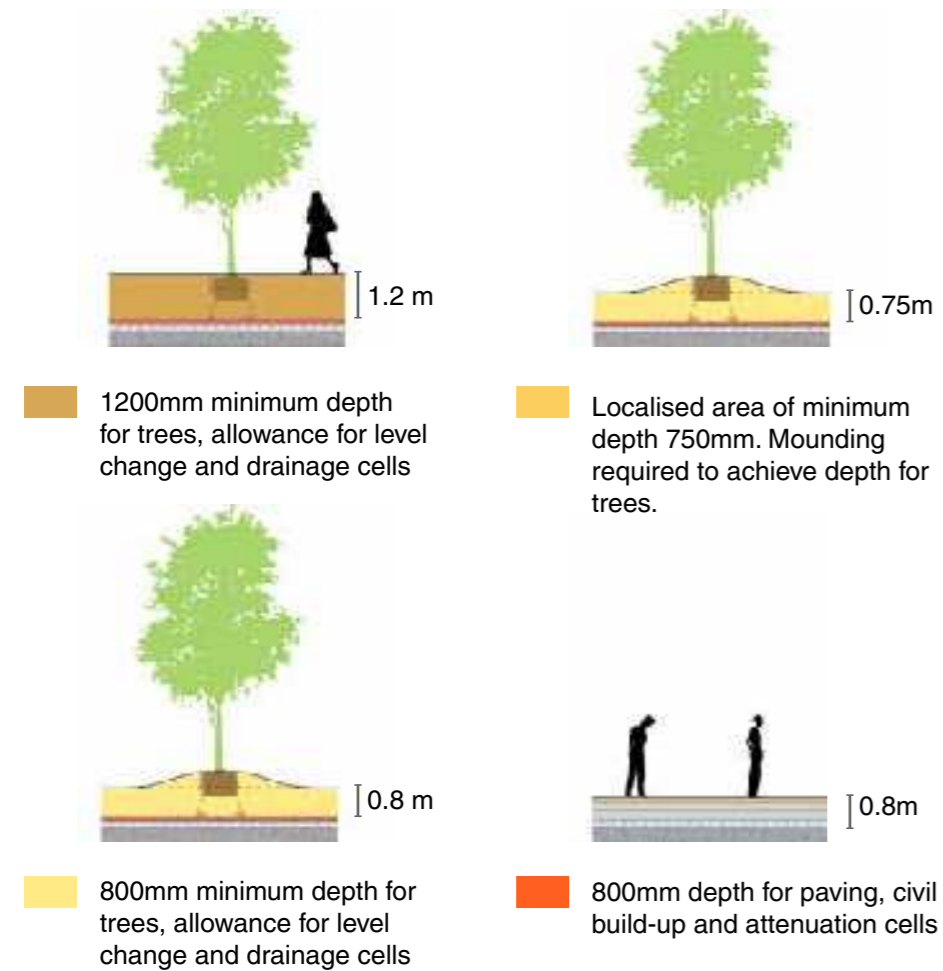
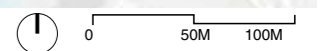


Figure 5.201 Diagram of minimum soil depths above basement



5. The Framework

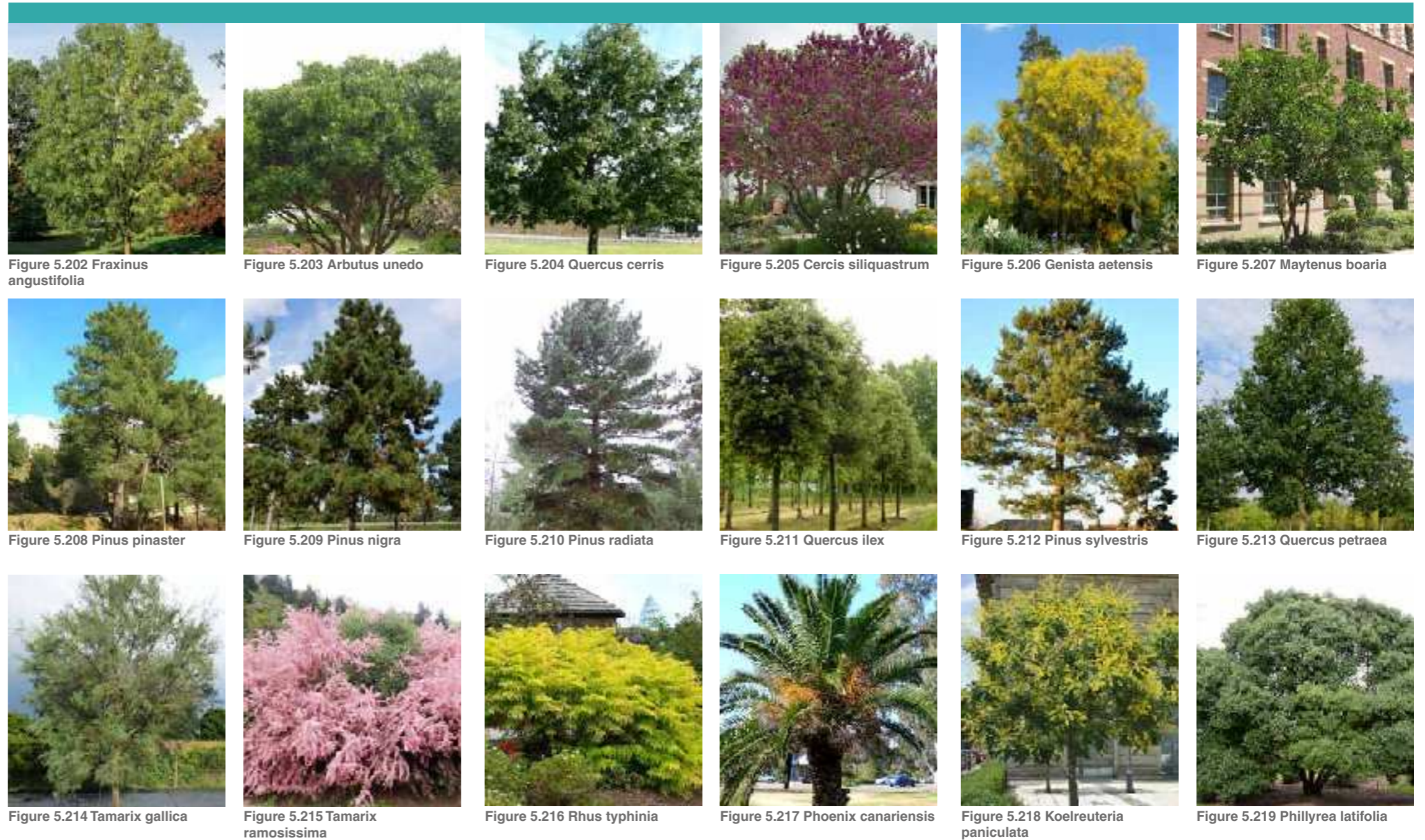
5.6 Framework Concept

5.6.14 Tree Strategy

WATERFRONT TREE PALETTE - FIRST LINE OF DEFENCE

- Possible tree species:
- Minimum size for tree planting:
- Single stem trees, 25-30 cm girth, 4-5 m high, 5 x transplanted,
- Multi-stem trees: 4-5 m high, 2-3 m wide, 5x transplanted.

- *Fraxinus angustifolia*
- *Arbutus unedo*
- *Quercus cerris*
- *Cercis siliquastrum*
- *Genista aetensis*
- *Maytenus boaria*
- *Pinus pinaster*
- *Pinus nigra*
- *Pinus radiata*
- *Quercus ilex*
- *Pinus sylvestris*
- *Quercus petraea*
- *Tamarix gallica*
- *Tamarix ramosissima*
- *Rhus Typhinia*
- *Phoenix canariensis*
- *Koelreuteria paniculata*
- *Phillyrea latifolia*



5. The Framework

5.6 Framework Concept

5.6.14 Tree Strategy

WATERFRONT WEST GATEWAY

Possible tree species:

Minimum size for tree planting:

- Single stem trees, 25-30 cm girth, 4-5 m high, 5 x transplanted,
- Multi-stem trees: 4-5 m high, 2-3 m wide, 5x transplanted.

- *Crataegus coccinea*
- *Arbutus unedo*
- *Olea europae*
- *Cercis siliquastrum*
- *Genista aetensis*
- *Amelanchier lamarckii*
- *Acer ginnala*
- *Pinus nigra*
- *Hippohaeris rhamnoides*
- *Quercus ilex*
- *Pinus sylvestris*
- *Quercus petraea*
- *Tamarix gallica*
- *Cercidiphyllum japonicum*
- *Rhus typhina*
- *Phoenix canariensis*
- *Koelreuteria paniculata*
- *Phillyrea latifolia*



5. The Framework

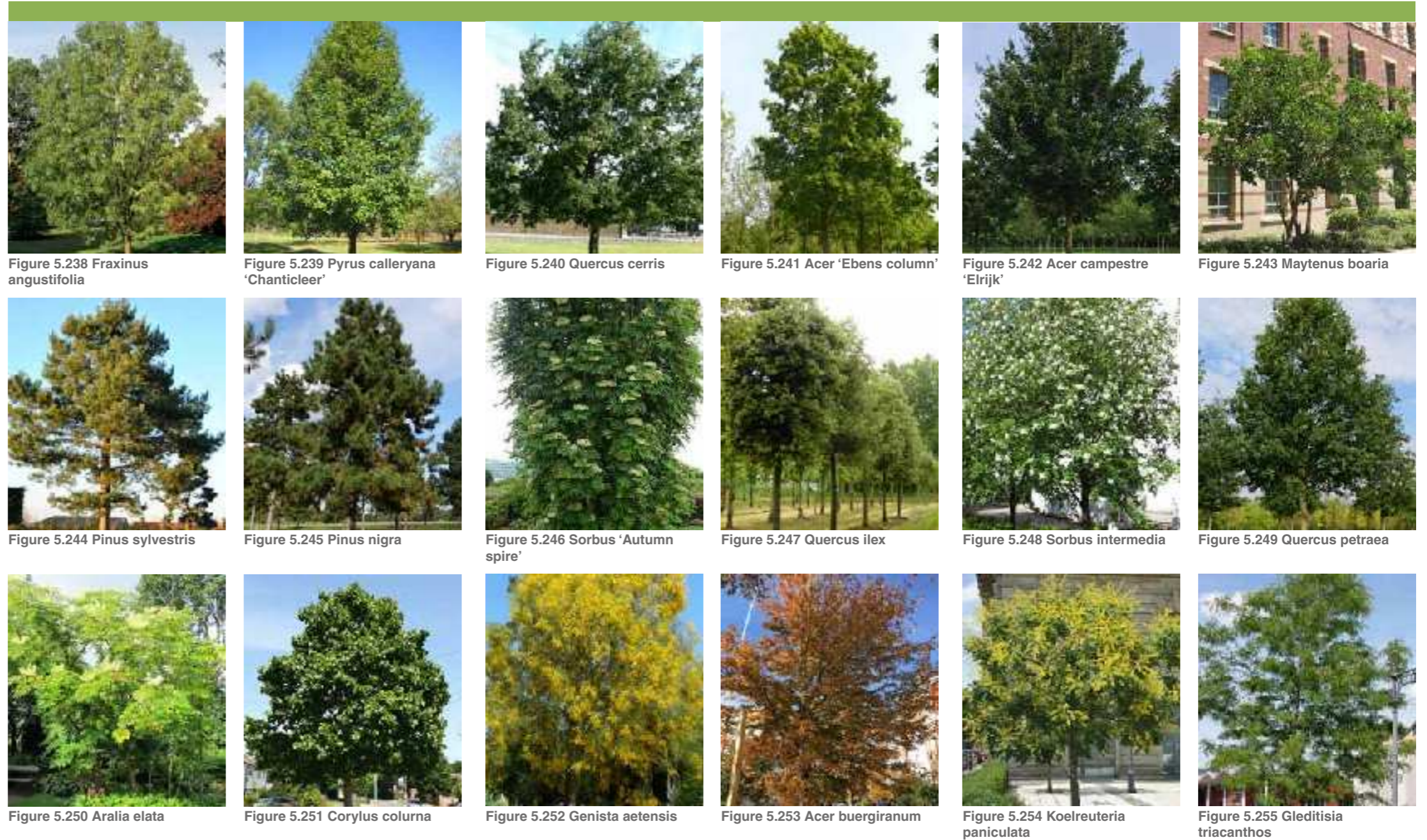
5.6 Framework Concept

5.6.14 Tree Strategy

LA ROUTE DE LA LIBÉRATION

- Possible tree species:
- Minimum size for tree planting:
- Single stem trees, 25-30 cm girth, 4-5 m high, 5 x transplanted,
- Multi-stem trees: 4-5 m high, 2-3 m wide, 5x transplanted.

- Fraxinus angustifolia
- Pyrus calleryana 'Chanticleer'
- Quercus cerris
- Acer 'Ebens Column'
- Acer campestre 'Elrijk'
- Maytenus boaria
- Pinus sylvestris
- Pinus nigra
- Sorbus 'Autumn spire'
- Quercus ilex
- Sorbus intermedia
- Quercus petraea
- Aralia elata
- Corylus columna
- Genista aetensis
- Acer buergiranum
- Koelreuteria paniculata
- Gleditsia triacanthos



5. The Framework

5.6 Framework Concept

5.6.14 Tree Strategy

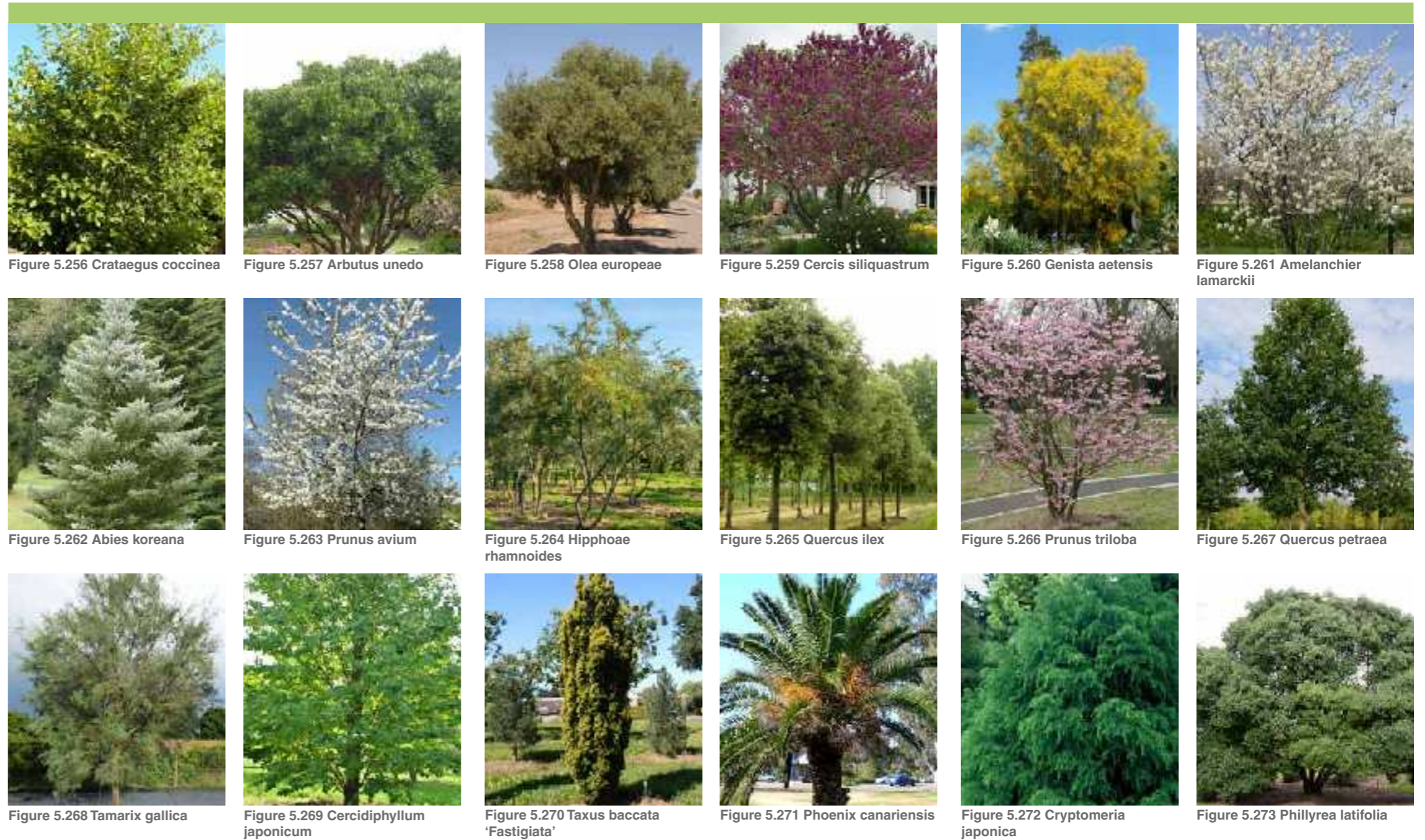
WATERFRONT PARK

POSSIBLE TREE SPECIES:

MINIMUM SIZE FOR TREE PLANTING:

- Single stem trees, 25-30 cm girth, 4-5 m high, 5 x transplanted,
- Multi-stem trees: 4-5 m high, 2-3 m wide, 5x transplanted.

- *Crataegus coccinea*
- *Arbutus unedo*
- *Olea europae*
- *Cercis siliquastrum*
- *Genista aetensis*
- *Amelanchier lamarckii*
- *Abies koreana*
- *Prunus avium*
- *Hippocoe rhamnoides*
- *Quercus ilex*
- *Prunus triloba*
- *Quercus petraea*
- *Tamarix gallica*
- *Cercidiphyllum japonicum*
- *Taxus baccata* 'Fastigiata'
- *Phoenix canariensis*
- *Cryptomeria japonica*
- *Phillyrea latifolia*



5. The Framework

5.6 Framework Concept

5.6.14 Tree Strategy

PUBLIC SQUARES

- Possible tree species:
- Minimum size for tree planting:
- Single stem trees, 25-30 cm girth, 4-5 m high, 5 x transplanted,
- Multi-stem trees: 4-5 m high, 2-3 m wide, 5x transplanted.

- Prunus avium
- Pyrus calleryana 'Chanticleer'
- Quercus cerris
- Acer 'Ebens Column'
- Acer campestre 'Elrijk'
- Tilia x europaea
- Prunus 'Accolade'
- Cercidiphyllum japonicum
- Sorbus 'Autumn spire'
- Amelanchier lamarckii
- Sorbus intermedia
- Quercus petraea
- Aralia elata
- Corylus columnna
- Parrotia persica 'Vanessa'
- Acer buergiranum
- Quercus robur
- Cercis siquilastrum



Figure 5.274 Prunus avium



Figure 5.275 Pyrus calleryana 'Chanticleer'



Figure 5.276 Quercus cerris



Figure 5.277 Acer 'Ebens column'



Figure 5.278 Acer campestre 'Elrijk'



Figure 5.279 Tilia x europaea



Figure 5.280 Prunus 'Accolade'



Figure 5.281 Cercidiphyllum japonicum



Figure 5.282 Sorbus 'Autumn spire'



Figure 5.283 Amelanchier lamarckii



Figure 5.284 Sorbus intermedia



Figure 5.285 Quercus petraea



Figure 5.286 Aralia elata



Figure 5.287 Corylus columnna



Figure 5.288 Parrotia persica 'Vanessa'



Figure 5.289 Acer buergiranum



Figure 5.290 Quercus robur



Figure 5.291 Cercis siquilastrum

5. The Framework

5.6 Framework Concept

5.6.14 Tree Strategy

SECONDARY STREET TREES

- Possible tree species:
- Minimum size for tree planting:
- Single stem trees, 25-30 cm girth, 4-5 m high, 5 x transplanted,
- Multi-stem trees: 4-5 m high, 2-3 m wide, 5x transplanted.

- Fraxinus angustifolia
- Pyrus calleryana 'Chanticleer'
- Alnus incana
- Acer 'Ebens Column'
- Acer campestre 'Elrijk'
- Amelanchier lamarckii
- Pinus nigra
- Acer buergiranum
- Quercus ilex
- Gleditsia triacanthos
- Quercus petraea



Figure 5.292 Fraxinus angustifolia



Figure 5.293 Pyrus calleryana 'Chanticleer'



Figure 5.294 Alnus incana



Figure 5.295 Acer 'Ebens column'



Figure 5.296 Acer campestre 'Elrijk'



Figure 5.297 Amelanchier lamarckii



Figure 5.298 Aralia elata



Figure 5.299 Pinus nigra



Figure 5.300 Acer buergiranum



Figure 5.301 Quercus ilex



Figure 5.302 Gleditsia triacanthos



Figure 5.303 Quercus petraea

5. The Framework

5.6 Framework Concept

5.6.14 Tree Strategy

ESPLANADE SECONDARY STREET TREES

- Possible tree species:
- Minimum size for tree planting:
- Single stem trees, 25-30 cm girth, 4-5 m high, 5 x transplanted,
- Multi-stem trees: 4-5 m high, 2-3 m wide, 5x transplanted.

- Quercus phellos
- Pyrus calleryana 'Chanticleer'
- Lagerstroemia 'Natchez'
- Acer 'Ebens Column'
- Acer campestre 'Elrijk'
- Amelanchier lamarckii
- Nyssa sylvatica
- Cecridyphyllum japonicum
- Acer buergiranum
- Betula pendula
- Eucommia ulmoides
- Quercus petraea



Figure 5.304 Quercus phellos



Figure 5.305 Pyrus calleryana 'Chanticleer'



Figure 5.306 Lagerstroemia 'Natchez'



Figure 5.307 Acer 'Ebens column'



Figure 5.308 Acer campestre 'Elrijk'



Figure 5.309 Amelanchier lamarckii



Figure 5.310 Nyssa sylvatica



Figure 5.311 Cecridyphyllum japonicum



Figure 5.312 Acer buergiranum



Figure 5.313 Betula pendula



Figure 5.314 Eucommia ulmoides



Figure 5.315 Quercus petraea

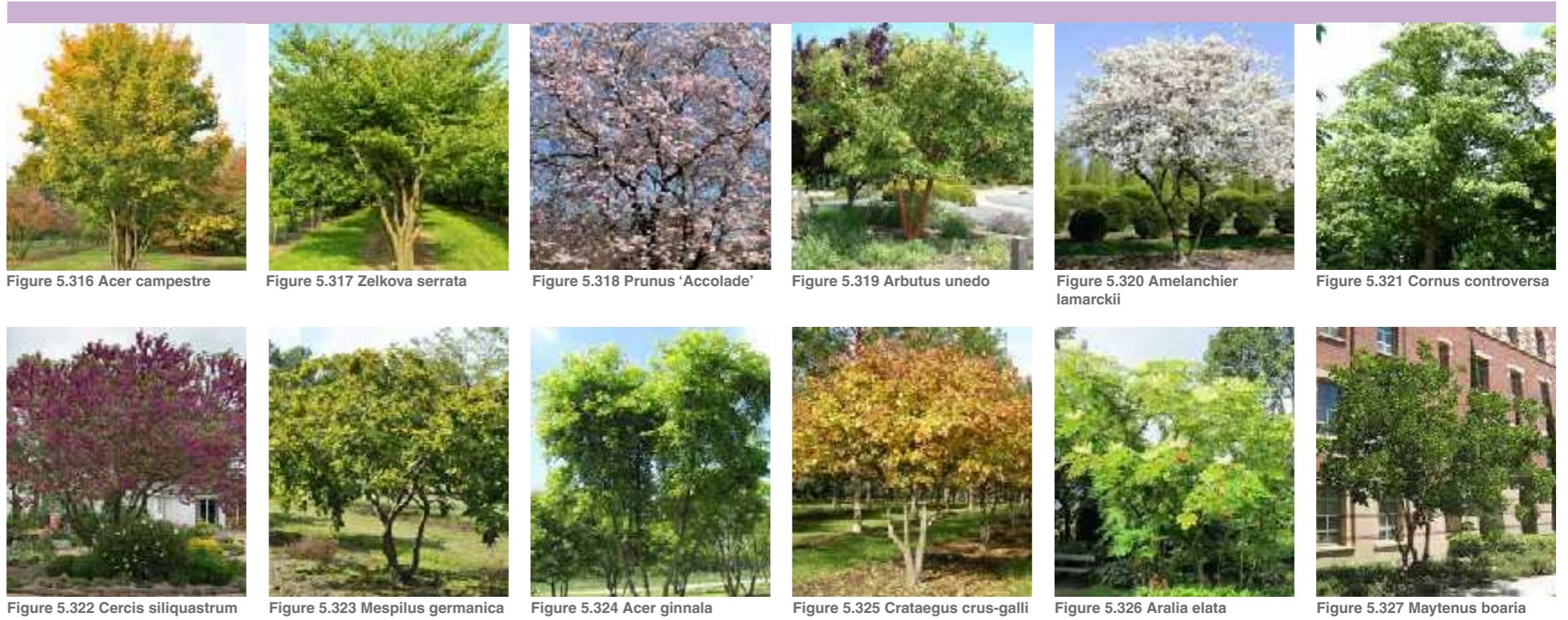
5. The Framework

5.6 Framework Concept

5.6.14 Tree Strategy

COURTYARD & PLAY SPACES TREE PALETTE

- Possible tree species:
- Minimum size for tree planting:
- Single stem trees, 25-30 cm girth, 4-5 m high, 5 x transplanted,
- Multi-stem trees: 4-5 m high, 2-3 m wide, 5x transplanted.
- Acer campestre - Single & Multi-stem
- Zelkova serrata - Multi-stem
- Prunus 'Accolade' - Single & Multi-stem
- Arbutus unedo - Multi-stem
- Amelanchier lamarckii - Multi-stem
- Cornus Contraversa - Single stem
- Cercis siliquastrum - Multi-stem
- Mespilus germanica - Multi-stem
- Acer ginnala Multi-stem
- Aralia elata Multi-stem
- Maytenus boaria Multi-stem



5. The Framework

5.6 Framework Concept

5.6.14 Tree Strategy

MARINA GARDENS

- Possible tree species:
- Minimum size for tree planting:
- Single stem trees, 25-30 cm girth, 4-5 m high, 5 x transplanted,
- Multi-stem trees: 4-5 m high, 2-3 m wide, 5x transplanted.

- Lagerstroemia 'Natchez'
- Pyrus calleryana 'Chanticleer'
- Zelkova serrata
- Acer 'Ebens Column'
- Acer 'Ebens column'
- Trachycarpus fortunei
- Tilia x europaea
- Prunus 'Accolade'
- Cercidiphyllum japonicum
- Sorbus 'Autumn spire'
- Amelanchier lamarckii
- Cercis 'Heart of Gold'
- Quercus petraea
- Aralia elata
- Rhus typhina
- Parrotia persica 'Vanessa'
- Acer buergiranum
- Toona sinensis
- Cercis siquilastrum



5. The Framework

5.6 Framework Concept

5.6.14 Tree Strategy

RUE DE L'ETAU

- Possible tree species:
- Minimum size for tree planting:
- Single stem trees, 25-30 cm girth, 4-5 m high, 5 x transplanted,
- Multi-stem trees: 4-5 m high, 2-3 m wide, 5x transplanted.

- Fraxinus angustifolia
- Pyrus calleryana 'Chanticleer'
- Styphnolobium japonicum
- Acer 'Ebens Column'
- Acer campestre 'Elrijk'
- Alnus incana
- Zelkova serrata
- Pinus nigra
- Cercis canadensis
- Quercus ilex
- Sorbus intermedia
- Quercus petraea
- Aralia elata
- Corylus columna
- Crataegus monogyna
- Acer buergiranum
- Phoenix canariensis
- Gleditsia triacanthos



5. The Framework

5.6 Framework Concept

5.6.14 Tree Strategy

RESIDENTIAL DEFENSIBLE SPACES

- Possible tree species:
- Minimum size for tree planting:
- Single stem trees, 25-30 cm girth, 4-5 m high, 5 x transplanted,
- Multi-stem trees: 4-5 m high, 2-3 m wide, 5x transplanted.

- Acer campestre Single & Multi-stem
- Prunus 'Accolade' Multi-stem
- Zelkova serrata Multi-stem
- Amelanchier lamarckii Single & Multi-stem
- Cercis 'Heart of Gold' Multi-stem
- Tilia x europaea Single stem



Figure 5.364 Acer campestre



Figure 5.365 Prunus 'Accolade'



Figure 5.366 Zelkova serrata



Figure 5.367 Amelanchier lamarckii



Figure 5.368 Cercis 'Heart of Gold'



Figure 5.369 Tilia x europaea

5. The Framework

5.6 Framework Concept

5.6.15 Planting Strategy

GROUND FLOOR

The soft landscape strategy for the SWSH Visioning Framework aims to create a welcoming and visually appealing landscape for residents and visitors as well as diverse habitat typologies that sustain the local fauna and flora in accordance with the Government of Jersey biodiversity strategy and Action Plans.

The proposed strategy is to group plant species into different plant communities tailored for each site specific character area and environmental conditions. A plant community is simply a group (community) of plants species that are compatible with each other and the site. These designed plant communities feature native as well as non native species that thrive in similar environmental conditions.

The most important aspects considered for creating each plant community are:

- Planting robustness and resilience for urban sites
- Planting drought tolerance as a fundamental principle for selecting species
- Planting appropriateness for each specific condition as for instance exposure and wind tolerance, shade tolerance and predicted soil conditions.
- Planting capacity to support wildlife
- Planting origin; in order to include native plants where possible in combination with non native species that support biodiversity.
- Plant's intrinsic characteristics and visual qualities to give individuality, identity and atmosphere to each site.

As supported by academic studies, the greatest biodiversity factor in a designed plant community is given by the cover area of vegetation, its diversity and its spatial complexity.

The goal for the plant communities is to be spatially complex in order to create many ecological niches for biodiversity. Complexity is achieved by mixing evergreen species, deciduous species, bulbs, annual, perennials, shrubs and trees.

Legend

- | | |
|---|---|
| Waterfront | Public Squares |
| Marina Gardens | Pocket Spaces |
| Play Hub | Private Communal |
| Streets | |



Figure 5.370 Diagram of Ground Floor Planting Strategy

5. The Framework

5.6 Framework Concept

5.6.15 Planting Strategy



Figure 5.371 Existing planting at Les Jardins de la Mer



Figure 5.373 Existing cordylines in Marina Gardens



Figure 5.375 Existing planting at Marina Gardens



Figure 5.372 Agapanthus used in existing streets



Figure 5.374 Agapanthus used in existing streets



Figure 5.376 Agaves and Cordylines at Marina Gardens

5. The Framework

5.6 Framework Concept

5.6.15 Planting Strategy

WATERFRONT PARK PLANTING PALETTE

- Indicative shrub species:
- Salt and Drought tolerant
- Wind Tolerant
- Shrubs to be sourced in 10-15-25-50 L pot

LARGE SHRUBS - SUNNY CONDITIONS - EXPOSED

- Buplerum fruticosum
- Cistus scoparius
- Hippophae rhamnoides
- Chamaerops humilis 'Compacta'
- Phormium tenax
- Eleagnus ebbingei
- Grieslinia litoralis
- Sambucus racemosa
- Atriplex halimus
- Agave americana
- Yucca filamentosa
- Acca sellowiana
- Echium candicans

SMALL SHRUBS - SUNNY CONDITIONS

- Berberis 'Green ornament'
- Pittosporum tobira
- Santolina chamaecyparis
- Pinus mugo 'Pumilo'
- Baccharis patagonica
- Teucrium fruticans
- Rosmarinus officinalis
- Hebe 'Green Globe'
- Hebe 'James Stirling'
- Hebe topira
- Lonicera nitida 'Scoop'



5. The Framework

5.6 Framework Concept

5.6.15 Planting Strategy

WATERFRONT PARK PLANTING PALETTE

- Indicative perennial and herbaceous species:
- Salt and Drought tolerant
- Wind Tolerant
- Herbaceous plants to be sourced in 1L and 2L pots and planted at a density of 9 plants/m2

HERBACEOUS PLANTS - SUNNY CONDITIONS - EXPOSED

- Dianthus carthusianorum
- Catanache caerulea
- Eryngium yuccifolium
- Euphorbia cyparissias
- Aster trubinellus
- Euphorbia 'Wulfenii'
- Sesleria autumnalis
- Cortaderia selloana
- Phlomis russeliana
- Agapanthus 'Dawn star'
- Achillea 'Gold platee'
- Salvia caradonna
- Stipa tenuissima
- Armeria arenaria
- Ballota pseudodictamnus
- Crambe maritima
- Echinops 'Ritro'
- Eryngium agavifolium

BULBS - SUNNY CONDITIONS

- Nerine bowdenii
- Tulbaghia violacea
- Iris reticulata 'Pauline'
- Narcissus 'Tete a tete'
- Allium schoenoprasum
- Crocus tommasinianus



5. The Framework

5.6 Framework Concept

5.6.15 Planting Strategy

WATERFRONT PLAY AREA PLANTING PALETTE

- Indicative shrub species:
- Salt and Drought tolerant
- Wind Tolerant
- Shrubs to be sourced in 10-15-25-50 L pot

LARGE SHRUBS - HALF-SUNNY CONDITIONS

- *Acca sellowiana*
- *Yucca filamentosa*
- *Arbutus unedo* 'Compacta'
- *Chamaerops humilis* 'Compacta'
- *Phormium tenax*
- *Cotinus coggygia*
- *Escallonia iveyi*
- *Sambucus racemosa*
- *Salix rosmarinifolia*
- *Leptospermum* 'Silver sheen'
- *Tamarix* 'Pink cascade'
- *Melianthus major*

SMALL SHRUBS - HALF-SUNNY CONDITIONS

- *Rosmarinus officinalis*
- *Pittosporum* 'Golf ball'
- *Pittosporum tobira*
- *Erysmium* 'Bowles mauve'
- *Pinus mugo* 'Pumilo'
- *Potentilla fruticosa*
- *Ozamnthus ledifolius*
- *Prostanthera cuneata*
- *Perevoskia atriplicifolia*
- *Lavandula* 'Hidcote'
- *Lavandula alba*
- *Carypteris clandonensis*



5. The Framework

5.6 Framework Concept

5.6.15 Planting Strategy

WATERFRONT PLAY AREA PLANTING PALETTE

- Indicative perennial and herbaceous species:
- Salt and Drought tolerant
- Wind Tolerant
- Herbaceous plants to be sourced in 1L and 2L pots and planted at a density of 9 plants/m²

HERBACEOUS PLANTS - HALF-SUNNY CONDITIONS

- *Origanum* 'Rosenkuppel'
- *Gaura lindheimeri*
- *Eryngium yuccifolium*
- *Achillea* 'Credo'
- *Euphorbia* 'Wulfenii'
- *Sedum* 'Carl'
- *Sesleria autumnalis*
- *Verbena bonariensis*
- *Phlomis russeliana*
- *Cynara cardunculus*
- *Centranthus ruber*
- *Bergenia* 'Eroica'
- *Stipa tenuissima*
- *Stipa gigantea*
- *Sisyrinchium striatum*
- *Helleborus argutifolius*
- *Echinops* 'Ritro'
- *Agapanthus* 'Dawn star'

BULBS - HALF-SUNNY CONDITIONS

- *Chionodoxa* 'Pink giant'
- *Tulbaghia violacea*
- *Camassia leichtlinii*
- *Narcissus* 'Tete a tete'
- *Narcissus poeticus*
- *Crocus tommasianus*



5. The Framework

5.6 Framework Concept

5.6.15 Planting Strategy

STREETSCAPE PLANTING PALETTE

- Indicative shrub species:
- Low maintenance
- Shrubs to be sourced in 10-15-25-50 L pot

LARGE SHRUBS - HALF-SUNNY CONDITIONS

- Amelanchier 'Ballerina'
- Eleagnus ebbingei
- Choisya ternata
- Escallonia ivelyi
- Phormium tenax
- Cotinus coggygria
- Osmanthus x brukwodii
- Griselinia littoralis
- Olearia traversii
- Viburnum tinus
- Agave americana
- Melianthus major

SMALL SHRUBS - HALF-SUNNY CONDITIONS

- Hebe pingufolia 'Pagei'
- Pinus mugo 'Mops'
- Pittosporum 'Tobira'
- Taxus baccata 'Prostrata'
- Berberis 'Green Ornament'
- Brachyglottis 'Sunshine'
- Teucrium fruticans
- Pereovskia atriplicifolia
- Cistus laurifolius
- Lonicera pileata
- Lonicera nitida 'Scoop'



Figure 5.473 Amelanchier 'Ballerina'



Figure 5.474 Eleagnus ebbingei



Figure 5.475 Choisya ternata



Figure 5.476 Escallonia ivelyi



Figure 5.477 Phormium tenax



Figure 5.478 Cotinus coggygria



Figure 5.479 Osmanthus x brukwodii



Figure 5.480 Griselinia littoralis



Figure 5.481 Olearia traversii



Figure 5.482 Viburnum tinus



Figure 5.483 Agave americana



Figure 5.484 Melianthus major
moondustabernamontana



Figure 5.485 Hebe pingufolia 'Pagei'



Figure 5.486 Pinus mugo 'Mops'



Figure 5.487 Pittosporum 'Golf Ball'



Figure 5.488 Pittosporum 'Tobira'



Figure 5.489 Taxus baccata 'Prostrata'



Figure 5.490 Berberis 'Green Ornament'



Figure 5.491 Brachyglottis 'Sunshine'



Figure 5.492 Teucrium fruticans



Figure 5.493 Perovskia atriplicifolia



Figure 5.494 Cistus laurifolius



Figure 5.495 Lonicera pileata



Figure 5.496 Lonicera nitida 'Scoop'

5. The Framework

5.6 Framework Concept

5.6.15 Planting Strategy

STREETSCAPE PLANTING PALETTE

- Indicative perennial and herbaceous species:
- Low maintenance
- Herbaceous plants to be sourced in 1L and 2L pots and planted at a density of 9 plants/m²

HERBACEOUS PLANTS - HALF-SUNNY CONDITIONS

- Stipa tenuisima
- Echinops 'Ritro'
- Aster 'Monch'
- Phlomis tuberosa
- Geranium m. 'Album'
- Ballota pseudodictamnus
- Miscanthus 'Yakushima dwarf'
- Calamagrostis 'Karl foerster'
- Eupatorium cannabinum
- Nepeta 'Walkers Low'
- Armeria maritima
- Verbena bonariensis
- Agapanthus 'Peter Pan'
- Achillea 'Moondust'
- Calamintha nepeta
- Euphorbia 'Wulfenii'
- Libertia grandiflora
- Liriope muscari 'Big Blue'

BULBS - HALF-SUNNY CONDITIONS

- Iris 'Katherine hodgkin'
- Tulbaghia violacea
- Narcissus cyclamineus
- Narcissus Tete' a tete'
- Narcissus poeticus
- Allium sphaerocephalon



Figure 5.497 Stipa tenuisima

Figure 5.498 Echinops 'Ritro'

Figure 5.499 Aster 'Monch'

Figure 5.500 Phlomis tuberosa

Figure 5.501 Geranium m. 'Album'

Figure 5.502 Ballota pseudodictamnus



Figure 5.503 'Miscanthus 'Y dwarf'



Figure 5.504 C. 'Karl foerster'



Figure 5.505 Eupatorium cannabinum



Figure 5.506 Nepeta 'Walkers low'



Figure 5.507 Armeria maritima



Figure 5.508 Verbena bonariensis



Figure 5.509 Agapanthus 'Peter Pan'



Figure 5.510 Achillea 'Moondust'



Figure 5.511 Calamintha nepeta



Figure 5.512 Euphorbia 'Wulfenii'



Figure 5.513 Libertia grandiflora



Figure 5.514 Liriope muscari 'Big Blue'



Figure 5.515 Iris 'Katharine hodgkin'



Figure 5.516 Tulbaghia violacea



Figure 5.517 Narcissus cyclamineus



Figure 5.518 Narcissus 'Tete a tete'



Figure 5.519 Narcissus poeticus



Figure 5.520 Allium sphaerocephalon

5. The Framework

5.6 Framework Concept

5.6.15 Planting Strategy

BIO-SWALE + RAIN GARDENS PLANTING PALETTE

- Indicative shrub species:
- Tolerant for periods of wet
- Shrubs to be sourced in 10-15-25-50 L pot

LARGE SHRUBS - SUNNY TO HALF SUNNY CONDITIONS

- Aronia melanocarpa
- Ageratina ligustrina
- Amelanchier 'Ballerina'
- Euonymus alatus 'Compactus'
- Cornus 'Midwinter fire'
- Vitex agnus castus

SMALL SHRUBS - SUNNY TO HALF SUNNY CONDITIONS

- Rosmarinus officinalis
- Hebe 'Green Globe'
- Spirea 'Double Play'
- Berberis buxifolia 'Nana'
- Pinus mugo 'Pumilo'
- Lonicera nitida 'Scoop'



Figure 5.521 Aronia melanocarpa



Figure 5.522 Ageratina ligustrina



Figure 5.523 Amelanchier 'Ballerina'



Figure 5.524 E. alatus 'Compactus'



Figure 5.525 Cornus 'Midwinter Fire'



Figure 5.526 Vitex agnus castus



Figure 5.527 Rosmarinus officinalis



Figure 5.528 Hebe 'Green Globe'



Figure 5.529 Spirea 'Double Play'



Figure 5.530 Berberis buxifolia 'Nana'



Figure 5.531 Pinus mugo 'Pumilo'



Figure 5.532 Lonicera nitida 'Scoop'

5. The Framework

5.6 Framework Concept

5.6.15 Planting Strategy

BIO-SWALE + RAIN GARDENS PLANTING PALETTE

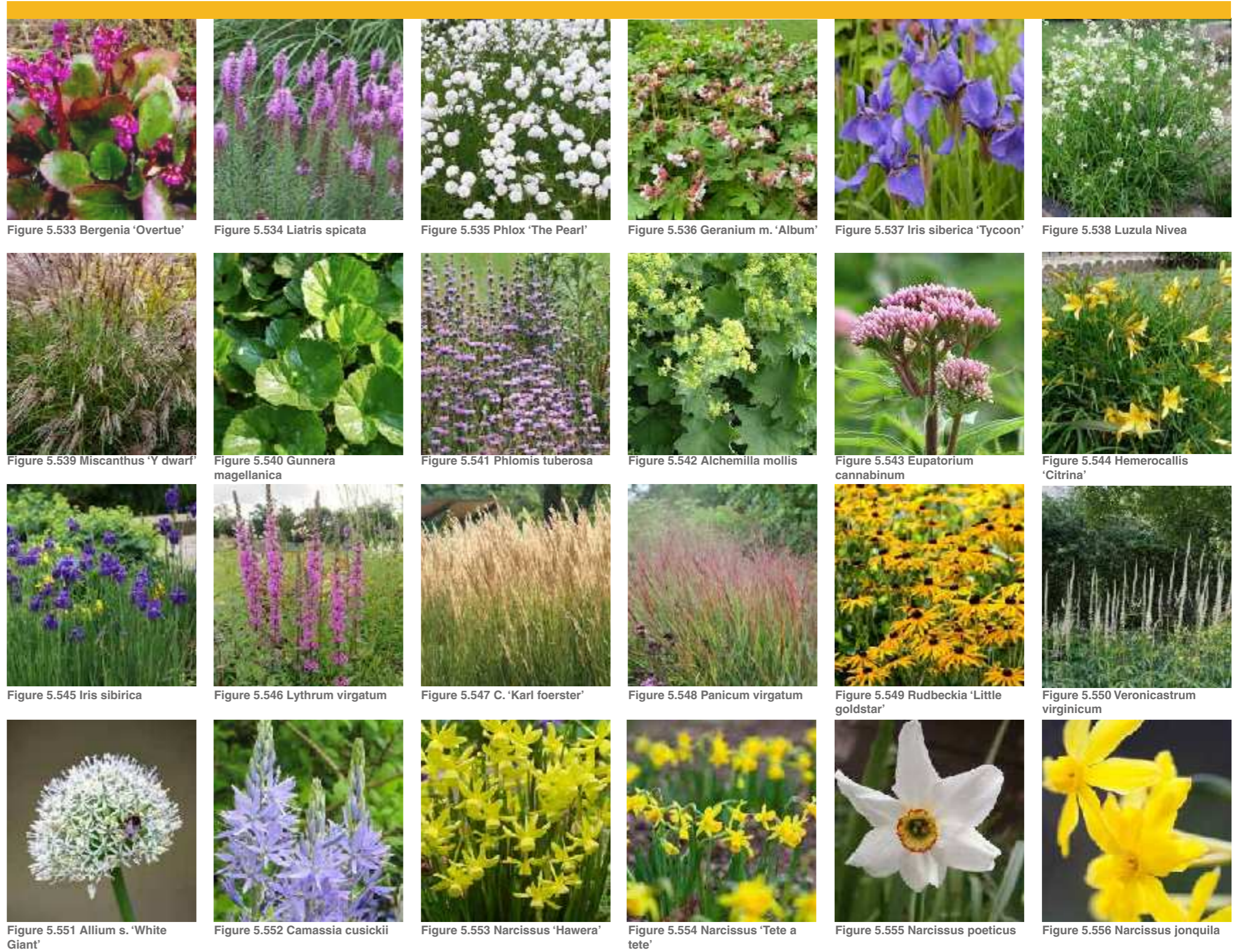
- Indicative perennial and herbaceous species:
- Low maintenance
- Herbaceous plants to be sourced in 1L and 2L pots and planted at a density of 9 plants/m²

HERBACEOUS PLANTS - SUNNY TO HALF SUNNY CONDITIONS

- Bergenia 'Overtue'
- Liatris spicata
- Phlox 'The Pearl'
- Geranium macrorrhizum 'Album'
- Iris siberica 'Tycoon'
- Luzula nivea
- Miscanthus 'Yakushima dwarf'
- Gunnera magellanica
- Phlomis tuberosa
- Alchemilla mollis
- Eupatorium cannabinum
- Hemerocallis 'Citrina'
- Iris siberica
- Lythrum virgatum
- Calamagrostis 'Karl foerster'
- 'Panicum virgatum
- Rudbeckia 'Little goldstar'
- Veronicastrum virginicum

BULBS - SUNNY TO HALF SUNNY CONDITIONS

- Allium s. 'White Giant'
- Cammasia cusickii
- Narcissus 'Hawera'
- Narcissus 'Tete a tete'
- Narcissus poeticus
- Narcissus jonquilla



5. The Framework

5.6 Framework Concept

5.6.15 Planting Strategy

MARINA GARDENS PLANTING PALETTE

- Indicative shrub species:
- Salt and Drought tolerant
- Wind Tolerant
- Shrubs to be sourced in 10-15-25-50 L pot

LARGE SHRUBS - SUNNY TO HALF SUNNY CONDITIONS

- *Buplerum fruticosum*
- *Arbutus unedo*
- *Cornus 'Midwinter Fire'*
- *Chamaerops humilis 'Compacta'*
- *Phormium tenax*
- *Trachycarpus fortunei*
- *Grisellinia litoralis*
- *Sambucus racemosa*
- *Berberis 'Green Ornament'*
- *Atriplex halimus*
- *Agave americana*
- *Yucca filamentosa*
- *Acca sellowiana*
- *Melianthus major*

SMALL SHURBS - SUNNY TO HALF SUNNY CONDITIONS

- *Pittosporum tobira*
- *Santolina chamaecyparis*
- *Erysmium 'Bowles Mauve'*
- *Pittosporum tenuifolium 'Cratus'*
- *Teucrium fruticans*
- *Rosmarinus officinalis*
- *Hebe 'Green Globe'*
- *Ilex crenata*
- *Hebe tobira*
- *Lonicera nitida 'Scoop'*



5. The Framework

5.6 Framework Concept

5.6.15 Planting Strategy

MARINA GARDENS PLANTING PALETTE

- Indicative perennial and herbaceous species:
- Salt and Drought tolerant
- Wind Tolerant
- Herbaceous plants to be sourced in 1L and 2L pots and planted at a density of 9 plants/m2

HERBACEOUS PLANTS - SUNNY TO HALF SUNNY CONDITIONS

- Echinacea pallida
- Tellima grandiflora
- Geranium macrorrhizum 'Album'
- Euphorbia palustris
- Gunnera magellanica
- Euphorbia 'Wulfenii'
- Sesleria autumnalis
- Acanthus 'Colins Folly'
- Phlomis russeliana
- Agapanthus 'Dawnstar'
- Achillea 'Gold Plate'
- Helenium 'Riverton Beauty'
- Miscanthus 'Yakushima dwarf'
- Miscanthus sinensis 'Gracillimus'
- Persicaria bistorta 'Superba'
- Alchemilla mollis
- Solidago 'Foxbrook Gold'
- Eryngium agavifolium

BULBS - SUNNY TO HALF SUNNY CONDITIONS

- Nerine bowdenii
- Tulbaghia violacea
- Camassia cusickii
- Narcissus 'Tete a tete'
- Allium s. 'White Giant'
- Allium schoenoprasum



5. The Framework

5.6 Framework Concept

5.6.15 Planting Strategy

POCKET SPACES PLANTING PALETTE

- Indicative shrub species:
- Low maintenance
- Shrubs to be sourced in 10-15-25-50 L pot

SHRUBS - SUNNY TO HALF SUNNY CONDITIONS

LARGE SHRUBS

- Amelanchier 'Ballerina'
- Cotinus coggygria
- Phormium tenax
- Melianthus major
- Erysmium 'Bowles mauve'

SMALL SHRUBS

- Genista 'Lydia'
- Perovskia atriplicifolia
- Pinus mugo 'Pumilo'
- Cistus laurifolius
- Brachyglottis 'Sunshine'
- Olearia traversii
- Santolina chamaecyparis

SHRUBS - HALF SUNNY TO SHADY CONDITIONS

LARGE SHRUBS

- Aesculus 'Pavia'
- Euonymus alatus 'Compactus'
- Cornus 'Midwinter Fire'

SMALL SHRUBS

- Pittosporum 'Golf Ball'
- Pittosporum 'Tobira'
- Taxus baccata 'Prostrata'
- Berberis Green Ornament'
- Hebe 'Green Globe'
- Ilex Crenata
- Choisya ternata
- Lonicera pileata
- Lonicera nitida 'Scoop'



5. The Framework

5.6 Framework Concept

5.6.15 Planting Strategy

POCKET SPACES PLANTING PALETTE

- Indicative perennial and herbaceous species:
- Low maintenance
- Herbaceous plants to be sourced in 1L and 2L pots and planted at a density of 9 plants/m²

HERBACEOUS PLANTS - SUNNY TO HALF SUNNY CONDITIONS

- *Stipa tenuisima*
- *Stachys* 'Cotton Boll'
- *Aster* 'Monch'
- *Phlomis tuberosa*
- *Artemisia* 'Powis Castle'
- *Geranium* 'Whiteness'
- *Sesleria autumnalis*
- *Calamagrostis* 'Karl Foerster'
- *Eupatorium cannabinum*
- *Scabiosa columbaria*
- *Armeria maritima*
- *Verbena bonariensis*
- *Agapanthus* 'Albatross'
- *Crambe maritima*
- *Eryngium* 'Silver Ghost'
- *Euphorbia* 'Wulfenii'
- *Salvia officinalis* 'Purpurea'
- *Bergenia* 'Bressingham White'

BULBS - SUNNY TO HALF SUNNY CONDITIONS

- *Allium* s. 'White Giant'
- *Tulbaghia violacea*
- *Narcissus cyclamineus*
- *Narcissus* 'Tete a tete'
- *Narcissus poeticus*
- *Allium schoenoprasum*



5. The Framework

5.6 Framework Concept

5.6.15 Planting Strategy

POCKET SPACES PLANTING PALETTE

- Indicative perennial and herbaceous species:
- Low maintenance
- Herbaceous plants to be sourced in 1L and 2L pots and planted at a density of 9 plants/m²

HERBACEOUS PLANTS - HALF SUNNY TO SHADY CONDITIONS

- *Alchemilla mollis*
- *Luzula nivea*
- Aster 'Monch'
- *Phlomis tuberosa*
- *Geranium 'Whiteness'*
- *Gunnera magellanica*
- *Sesleria autumnalis*
- *Hackenchoa macra*
- *Eupatorium cannabinum*
- *Aster divaricatus*
- *Libertia grandiflora*
- *Verbena bonariensis*
- *Agapanthus 'Blue Thunder'*
- *Polystichum aculeatum*
- *Polygonatum x hybridum*
- *Euphorbia robbiae*
- *Athyrium filix-femina*
- *Bergenia 'Bressingham White'*

BULBS - HALF SUNNY TO SHADY CONDITIONS

- *Allium s. 'White Giant'*
- *Tulbaghia violacea*
- *Narcissus cyclamineus*
- *Narcissus 'Tete a tete'*
- *Narcissus poeticus*
- *Galanthus nivalis*



5. The Framework

5.6 Framework Concept

5.6.15 Planting Strategy

PUBLIC SQUARE SPACES PLANTING PALETTE

- Indicative shrub species:
- Low maintenance
- Shrubs to be sourced in 10-15-25-50 L pot

LARGE SHRUBS - SUNNY TO HALF SUNNY CONDITIONS

- Amelanchier 'Ballerina'
- Phormium tenax
- Cotinus coggygia
- Melinathus major
- Yuccas rostrata 'Blue Swan'
- Acca sellowiana

SMALL SHRUBS - SUNNY TO HALF SUNNY CONDITIONS

- Genista 'Lydia'
- Perovskia 'Atriplicifolia'
- Pinus mugo 'Pumilo'
- Helianthemum 'Bunbury'
- Brachyglotis 'Sunshine'
- Olearia traversii
- Santolina rosmarinifolia
- Helianthemum 'The Bride'
- Rosmarinus officinalis
- Pittosporum 'Tobira'
- Prostanthera cuneata
- Berberis 'Green Ornament'
- Hebe 'Red Edge'
- Lavandula 'Ashdown Forest'
- Lavandula Hidcote
- Cryptomeria globosa 'Nana'
- Hebe topira
- Lonicera nitida 'Scoop'



5. The Framework

5.6 Framework Concept

5.6.15 Planting Strategy

PUBLIC SQUARE SPACES PLANTING PALETTE

- Indicative perennial and herbaceous species:
- Low maintenance
- Herbaceous plants to be sourced in 1L and 2L pots and planted at a density of 9 plants/m²

HERBACEOUS PLANTS - SUNNY TO HALF SUNNY CONDITIONS

- Stipa tenuisima
- Stachys 'Cotton Boll'
- Aster 'Monch'
- Phlomis tuberosa
- Phlomis russeliana
- Helichrysum 'Dartington'
- Sesleria autumnalis
- Calamagrostis x acutiflora 'Waldenbuch'
- Artemisia pontica
- Scabiosa columbaria
- Armeria maritima
- Gaura lindheimeri
- Achillea 'Terracotta'
- Crambe maritima
- Eryngium variifolium
- Bupleurum falcatum
- Dianthus carthusianorum
- Teucrium f. albiflora

BULBS - SUNNY TO HALF SUNNY CONDITIONS

- Crocus tommasinianus
- Tulbaghia violacea
- Narcissus cyclamineus
- Narcissus 'Tete a tete'
- Allium tuberosum
- Allium schoenoprasum



5. The Framework

5.6 Framework Concept

5.6.15 Planting Strategy

SEMI PRIVATE/ COMMUNAL COURTYARDS PLANTING PALETTE

- Indicative shrub species:
- Shade tolerant
- Shrubs to be sourced in 10-15-25-50 L pot

LARGE SHRUBS - HALF SUNNY TO SHADY CONDITIONS

- *Bupleurum fruticosum*
- *Arbutus unedo*
- Amelanchier 'Ballerina'
- *Abutilon vitifolium*
- *Laurus nobilis*
- *Aloysia citrodora*
- *Cornus 'Midwinter Fire'*
- *Spirea 'Snowmound'*
- *Phormium tenax*
- *Pittosporum 'Golf Ball'*
- *Choisya 'Aztec Pearl'*

SMALL SHRUBS - HALF SUNNY TO SHADY CONDITIONS

- *Euonymus 'Green Rocket'*
- *Rosmarinus officinalis*
- *Grevillea 'Canberra Gem'*
- *Hebe 'Green Globe'*
- *Pittosporum tobira*
- *Berberis buxifolia 'Nana'*
- *Pinus mugo 'Pumilo'*
- *Ilex crenata*



Figure 5.725 *Bupleurum fruticosum*



Figure 5.726 *Arbutus unedo*



Figure 5.727 Amelanchier 'Ballerina'



Figure 5.728 *Euonymus alatus*



Figure 5.729 *Laurus nobilis*



Figure 5.730 *Aloysia citrodora*



Figure 5.731 *Cornus 'Midwinter Fire'*



Figure 5.732 *Spirea 'Snowmound'*



Figure 5.733 *Phormium tenax*



Figure 5.734 *Pittosporum 'Golf Ball'*



Figure 5.735 *Euonymus 'Green Rocket'*



Figure 5.736 *Choisya 'Aztec Pearl'*



Figure 5.737 *Rosmarinus officinalis*



Figure 5.738 *Hebe 'Green Globe'*



Figure 5.739 *Pittosporum tobira*



Figure 5.740 *Berberis buxifolia 'Nana'*



Figure 5.741 *Pinus mugo 'Pumilo'*



Figure 5.742 *Ilex crenata*

5. The Framework

5.6 Framework Concept

5.6.15 Planting Strategy

SEMI PRIVATE/ COMMUNAL COURTYARDS PLANTING PALETTE

- Indicative perennial and herbaceous species:
- Shade tolerant
- Herbaceous plants to be sourced in 1L and 2L pots and planted at a density of 9 plants/m2

HERBACEOUS PLANTS - HALF SUNNY TO SHADY CONDITIONS

- Euphorbia 'Wulfenii'
- Alchemilla mollis
- Tellima grandiflora
- Polystichum aculeatum
- Geranium 'Whiteness'
- Asplenium scolopendrium
- Sesleria autumnalis
- Miscanthus 'Yakushima dwarf'
- Luzula nivea
- Cenolophium denudatum
- Echinacea 'White Swan'
- Hosta 'Devon Green'
- Phlomis tuberosa
- Stachys macracantha 'Superba'
- Aстранtia 'Alba'
- Agapanthus 'Albatross'
- Fuchsia 'Hawksjead'
- Bergnia 'Eroica'

BULBS - HALF SUNNY TO SHADY CONDITIONS

- Crocus tommasinianus
- Tulbaghia violacea
- Leucojum aestivum
- Puschkinia libanotica
- Allium lusitanicum
- Allium schoenoprasum



Figure 5.743 Euphorbia 'Wulfenii'



Figure 5.744 Alchemilla mollis



Figure 5.745 Tellima grandiflora



Figure 5.746 Polystichum aculeatum



Figure 5.747 Geranium 'Whiteness'



Figure 5.748 Asplenium scolopendrium 'Angustatum'



Figure 5.749 Sesleria autumnalis



Figure 5.750 Miscanthus 'Y. Dwarf'



Figure 5.751 Luzula nivea



Figure 5.752 Cenolophium denudatum



Figure 5.753 Echinacea 'White Swan'



Figure 5.754 Hosta 'Devon Green'



Figure 5.755 Phlomis tuberosa



Figure 5.756 Stachys m. 'Superba'



Figure 5.757 Aстранtia 'Alba'



Figure 5.758 Agapanthus 'Albatross'



Figure 5.759 Fuchsia 'Hawkshead'



Figure 5.760 Bergenia 'Eroica'



Figure 5.761 Crocus tommasinianus



Figure 5.762 Tulbaghia violacea



Figure 5.763 Leucojum aestivum



Figure 5.764 Puschkinia libanotica



Figure 5.765 Allium lusitanicum



Figure 5.766 Galanthus nivalis

5. The Framework

5.6 Framework Concept

5.6.15 Planting Strategy

ROOF AND PODIUM PLANTING

Living roofs and private communal amenity terraces have been proposed on buildings as indicated and provision made for these within the structures and access arrangements of each building. The roof treatment includes a mixture of green and brown roofs which will provide biodiversity and support local fauna with food and habitat. The planting palette will be diverse and species are required that are best suited to the conditions of this demanding environment.

Amenity terraces include a 1.5m setback of biodiverse roofs before the balustrade line to minimise the visual prominence of balustrades and ensure a green perimeter, legible from street level. Amenity terraces will consist of a diverse perennial palette including a mix of structural shrubs, grasses and bulbs.



Figure 5.767 Planting Strategy Roof and Podium

Legend

- Amenity terrace
- Biodiverse roof
- Plan
- Lift overrun

5. The Framework

5.6 Framework Concept

5.6.15 Planting Strategy

ACCESSIBLE ROOF PLANTING PALETTE

- Indicative shrub species:
- Low maintenance
- Shrubs to be sourced in 10-15-25-50 L pot

LARGE SHRUBS - SUNNY TO HALF SUNNY CONDITIONS

- Amelanchier 'Ballerina'
- Viburnum 'Eve Prince'
- Berberis 'Atropurpurea'
- Cistus 'Silver Pink'
- Cistus creticus
- Osmanthus x burkwoodii

SMALL SHRUBS - SUNNY TO HALF SUNNY CONDITIONS

- Pereovskia atriplicifolia
- Helichrysum 'Icicles'
- Brachyglottis 'Sunshine'
- Erysimium 'Jacob's Jacket'
- Santolina rosmarinifolia
- Helianthemum 'The Bride'
- Erysimium 'Bowles mauve'
- Lotus hirsutus
- Pinus mugo 'Pumilo'
- Pittosporum tobira
- Prostanthera cuneata
- Berberis buxifolia 'Nana'
- Hebe 'Red Edge'
- Lavandula 'Ashdown Forest'
- Lavandula 'Hidcote'
- Cryptomeria globosa 'Nana'
- Hebe topira
- Lonicera nitida 'Scoop'



Figure 5.768 Amelanchier 'Ballerina'



Figure 5.769 Cistus 'Silver Pink'



Figure 5.770 Perovskia atriplicifolia



Figure 5.771 Viburnum t. Eve Prince'



Figure 5.772 Helichrysum 'Icicles'



Figure 5.773 Berberis 'Atropurpurea'



Figure 5.774 Cistus creticus



Figure 5.775 Brachyglottis 'Sunshine'



Figure 5.776 Erysimium 'Jacob's Jacket'



Figure 5.777 Santolina rosmarinifolia



Figure 5.778 Helianthemum 'The Bride'



Figure 5.779 Erysimium 'Bowles mauve' moondustabernamontana



Figure 5.780 Osmanthus x burkwoodii



Figure 5.781 Lotus hirsutus



Figure 5.782 Pinus mugo 'Pumilo'



Figure 5.783 Pittosporum 'Tobira'



Figure 5.784 Prostanthera cuneata



Figure 5.785 Berberis buxifolia 'Nana'



Figure 5.786 Hebe 'Red Edge'



Figure 5.787 Lavandula 'Ashdown Forest'



Figure 5.788 Lavandula Hidcote



Figure 5.789 Cryptomeria g. 'Nana'



Figure 5.790 Hebe topira



Figure 5.791 Lonicera nitida 'Scoop'

5. The Framework

5.6 Framework Concept

5.6.15 Planting Strategy

ACCESSIBLE ROOF PLANTING PALETTE

- Indicative perennial and herbaceous species:
- Low maintenance
- Herbaceous plants to be sourced in 1L and 2L pots and planted at a density of 9 plants/m²

HERBACEOUS PLANTS - SUNNY TO HALF SUNNY CONDITIONS

- *Stipa tenuisima*
- *Stachys 'Cotton Boll'*
- *Aster 'Monch'*
- *Verbena 'Lollipop'*
- *Phlomis russeliana*
- *Helichrysum 'Dartington'*
- *Sesleria autumnalis*
- *Koeleria glauca*
- *Artemisia pontica*
- *Euphorbia epithymoides*
- *Armeria maritima*
- *Gaura lindheimeri*
- *Achillea 'Terracotta'*
- *Crambe maritima*
- *Eryngium variifolium*
- *Bupleurum falcatum*
- *Dianthus carthusianorum*
- *Teucrium f. albiflora*

BULBS - SUNNY TO HALF SUNNY CONDITIONS

- *Crocus tommasinianus*
- *Tulbaghia violacea*
- *Narcissus cyclamineus*
- *Narcissus 'Tete a tete'*
- *Allium tuberosum*
- *Allium schoenoprasum*



5. The Framework

5.6 Framework Concept

5.6.15 Planting Strategy

BIODIVERSE ROOF PLANTING PALETTE

- Indicative perennial and alpines species:
- Drought Tolerant
- Herbaceous plants to be sourced in 9cm and 1L pots and planted at a density of 9 plants/m2

HERBACEOUS AND ALPINE PLANTS - SUNNY CONDITIONS

- Dianthus carthusianorum
- Festuca Cinera-Hybride
- Gypsophilia repens 'Rosa Sconheit'
- Koeleria glauca
- Petrorhagia saxifraga
- Saponaria ocymoides
- Satureja montana
- Saxifraga paniculata
- Sedum spathulifolium
- Thymus serpyllum
- Armeria maritima
- Lychnis alpina
- Campanula poscharskyana
- Veronica teucrium
- Anthyllis vulneraria
- Sedum acre
- Fragaria vesca
- Linaria vulgaris
- Achillea tomentosa 'Aurea'
- Cotula hispida
- Teucrium pyrenaicum
- Sedum spathulifolium 'Cape Blanco'
- Teucrium ackermannii



5. The Framework

5.6 Framework Concept

5.6.16 Hard Materials Strategy

It is crucial the selected materials complement the existing St Helier character to ensure the Framework feels authentic. Where possible, pink granites which resemble the local stone, should be used. Alternatives such as porphyry and reconstituted buff granites may also be considered.

Details and features found within town should be considered and complemented by a contemporary interpretation. These details include;

- Hammered finishes
- Ubiquitous mortar joints
- Soldier courses of setts
- Courses of long stone pavers separating adjacent finishes
- Fanned setts detailing



Figure 5.840 Stone etchings in Royal Square



Figure 5.842 Fanned stone sett paving



Figure 5.841 Hammered stone finishes and long stone pavers used to create edges



Figure 5.843 Stone sett soldier courses

5. The Framework

5.6 Framework Concept

5.6.16 Hard Materials Strategy

The hard materials strategy aims to convey a unifying character to the Framework, providing a robust solution that will support the anticipated site uses while reinforcing movement and character areas. Importance is given to the appropriateness of the materials in regard to heritage significance, place making and long-term performance. Components of the public realm must also contribute to the overall sustainability of the scheme. To accomplish a high quality scheme that respects the character of the area, a simple, de-cluttered palette of natural stone materials is preferred, although consideration should be given to reconstituted granites.

Key features include:

- Use of granite stone slabs for primary roads (The Esplanade) which complement the existing town paving.
- Use of contemporary granite slabs for the secondary roads and promenade
- Use of granite stone slabs or reconstituted granite for primary and secondary streets. Variation of format should be used between primary and secondary routes
- Natural stone setts or reconstituted stone setts to spill-out areas, arcades and the lane edges to create a variation in scale
- Resin bound aggregates within Les Jardins de la Mer and Marina Gardens
- Self-binding gravel to the Pocket Square
- In-situ concrete with hand seeded aggregates to the pool and play hub. Tones of buff and white chips should be used to complement the more urban areas of the framework

Legend

 Primary Road (Natural stone paving)	 Resin bound gravel
 Secondary Road (Natural stone paving)	 Self binding gravel
 Promenade (Natural stone paving)	 Paving setts
 Primary Street (Natural stone or reconstituted stone paving)	 Reclaimed natural stone
 Secondary Street (Natural stone or reconstituted paving)	 Concrete with hand seeded natural aggregates
 Lane (Natural stone paving)	 Coloured asphalt
 Feature crossings (Natural stone setts)	 Sand
 Feature paving Central Square (Natural stone paving)	 Timber
 Feature paving Esplanade and Waterfront Square	 Rubber softfall



Figure 5.844 Diagram of hard materials strategy

5. The Framework

5.6 Framework Concept

5.6.16 Hard Materials Strategy



Figure 5.845 Primary road (Natural stone paving to match existing)



Figure 5.846 Secondary road and promenade (Natural stone paving)



Figure 5.847 Primary and secondary street (Natural stone/reconstituted stone pavers)

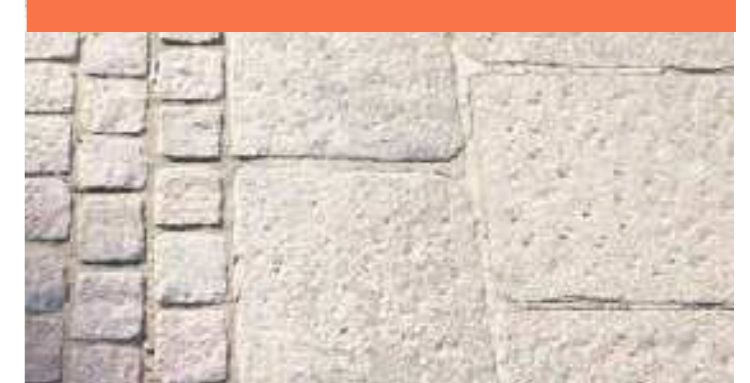


Figure 5.848 Lane (Natural stone with textural finish)



Figure 5.849 Stone or reconstituted stone setts



Figure 5.850 Feature crossings (Natural stone pavers)



Figure 5.851 Feature paving Central Square (Natural stone paving)



Figure 5.852 Feature paving Esplanade and Waterfront Square



Figure 5.853 Resin bound gravel

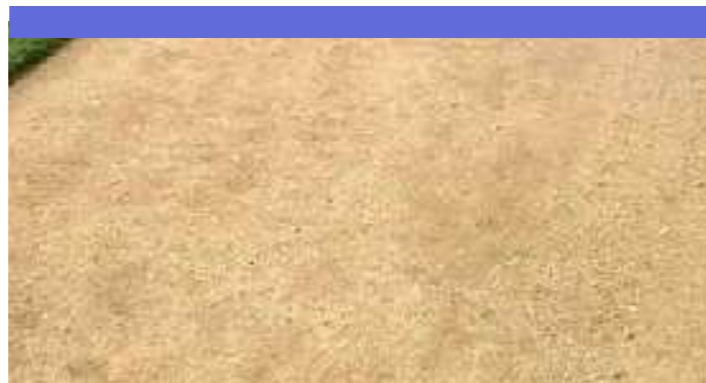


Figure 5.854 Self binding gravel



Figure 5.855 Reclaimed natural stone



Figure 5.856 Concrete with hand seeded natural aggregates



Figure 5.857 Coloured asphalt



Figure 5.858 Sand



Figure 5.859 Timber



Figure 5.860 Rubber Softfall

5. The Framework

5.6 Framework Concept

5.6.17 Public Realm Colour Strategy

“This “whitening” of St Helier is an unfortunate tendency that encourages a monotonous streetscape, rescued only by more attractive colours used for architectural details, railings, doors, shop fronts..”

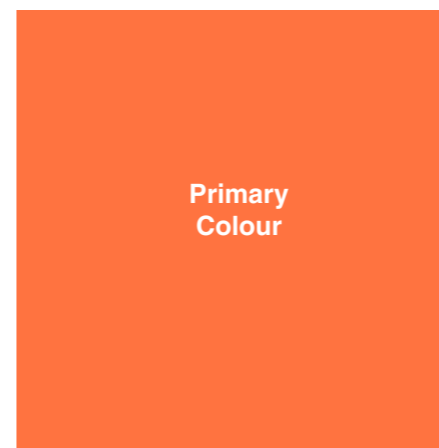
WMUD Urban Character Appraisal Review, St Helier March 2021

St Helier has many bursts of unexpected colour dotted around its streetscapes and embedded into architectural details. When complemented by the traditional palette of sea-greens and salmon yellows, these colours help create a strong sense of identity and individuality for St Helier. Reoccurring colours are predominantly a coral red and a bright yellow, found in the phone boxes and window framing. Greens and blues also feature in architectural details.

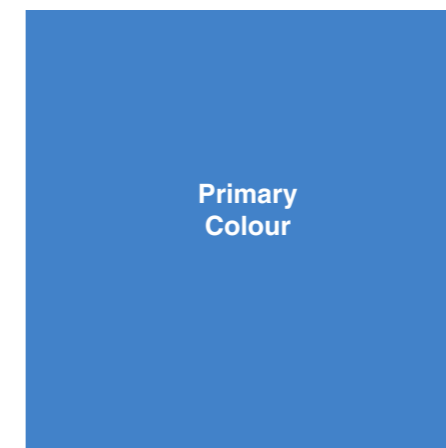
To aid the delivery of an authentic public realm, the design team have proposed these colours be considered for subtle integration within furniture, fixtures and signage. This may include accents to street furniture such as fixings or armrests, signage lettering and shop fronts.



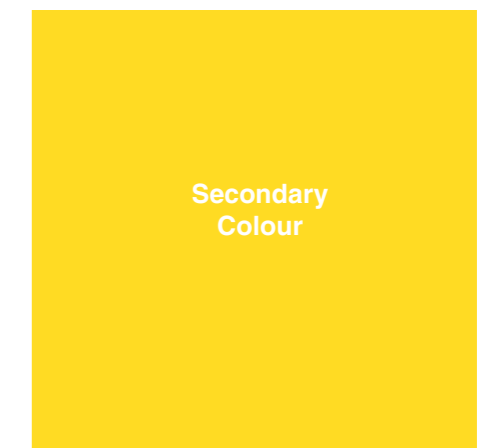
Figure 5.861 St Helier Marina markers



Primary
Colour



Primary
Colour



Secondary
Colour

5. The Framework

5.6 Framework Concept

5.6.17 Public Realm Colour Strategy



Figure 5.862 Coral red frame to Liberty Wharf



Figure 5.863 The Pierson, King Street



Figure 5.864 Red shutters to Library Place



Figure 5.865 Snow Hill phone boxes



Figure 5.866 The Esplanade



Figure 5.867 Liberty Wharf



Figure 5.868 The Steam Clock



Figure 5.869 St Helier Marina



Figure 5.870 Quayside Bistro and Grill



Figure 5.871 Ordnance Yard

5. The Framework

5.6 Framework Concept

5.6.18 Furniture Strategy

Site furniture elements provide a physical amenity; places for rest and relaxation and can assist in animating the public realm encouraging people to linger instead of pass through, thereby altering the character of the space.

The following principles have been considered in the specification and selection of furniture types:









- Consistency in character and materials with reference to the built form and history of the site but also taking account of comfort and inclusive provision for all users. This assists in formulating a sense of place as well as responding to particular access needs.
- The furniture elements will be robust, require low maintenance and be able to tolerate the demands of the public environment.
- Colour and materials should be considered to reinforce and park and urban suite.

Furniture should be placed in areas where it offers the greatest benefit and is easily seen. Furniture may include:

- Seats - with and without back and arm rests
- Cycle racks
- Bollards
- Handrails
- Rubbish bins
- Drinking fountains

Legend

Park Suite

-  Park seat type 1 - Reclaimed stone edge
-  Seat type 4 - Feature timber seat to planting
-  Park seat type 2 - bench with back and arm rest
-  Seat type 5 - Feature stone seat
-  Park seat type 3 - individual seat cube seats
-  Seat type 6 - Pin wheel timber benches to tree grove
-  Park seat type 4 - step bleacher seating
-  Cycle stands

Urban Suite








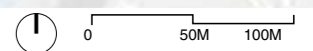
-  Litter bin and recycling
-  Seat type 1 - Circular timber seating to planting
-  Bollards
-  Seat type 2 - Façade-integrated bench
-  Drinking fountains
-  Seat type 3 - Individual timber seat with back and arm rest
-  Bus stop



Figure 5.872 Diagram of furniture strategy



5. The Framework

5.6 Framework Concept

5.6.18 Furniture Strategy

Public furniture is critical to the proposal - allowing the site to be activated and programmed throughout the week, during the day and night time. The creation of two suites of furniture adds diversity and vibrancy to the public realm as well as reinforcing public realm character areas and wayfinding.

While these two palettes should be distinctly different they should share common elements where possible such as timber type and fixings.

The urban palette should follow the following principles;

- Civic spaces should include high quality, generous seating as well as communal seating and table tops integrated into furniture
- Civic spaces should consider integrated WiFi and laptop charging points
- Consideration should be given to layering of materials, profiles and shadows
- Street benches should include backrests and arm rests

The park palette should be the playful 'little brother' to the urban suite. It should consider the following principles;

- Bolder use of colour
- Steel patterns and perforations

Urban Palette



Figure 5.873 Tactile timber



Figure 5.874 Generous square feature seating

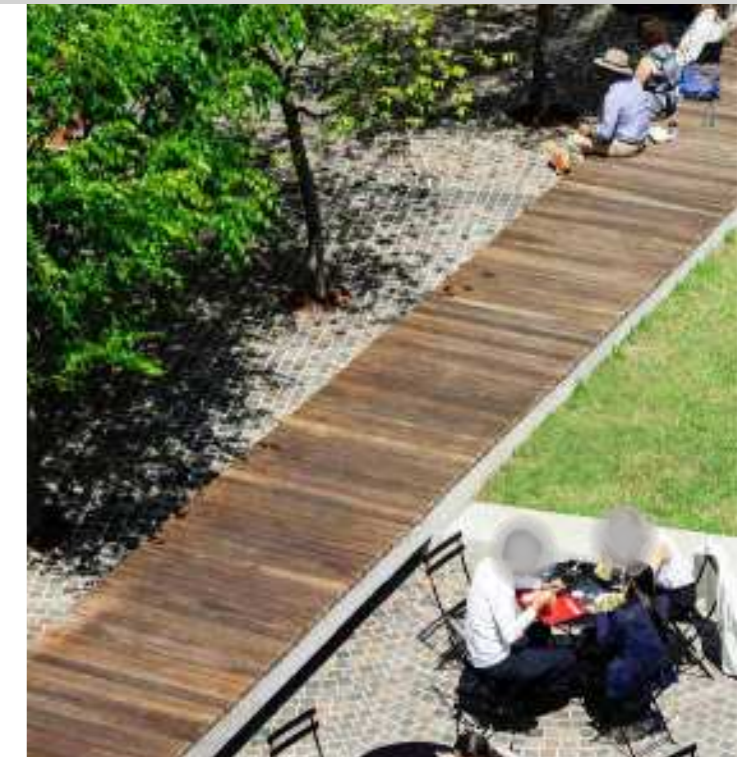


Figure 5.877 Generous square feature seating



Figure 5.875 More playful civic seating



Figure 5.876 Functional street seating

Park Palette



Figure 5.878 Bins



Figure 5.880 Playful colour



Figure 5.879 Patterns adding identity to suite



Figure 5.881 Contemporary forms



Figure 5.882 Table tennis

5. The Framework

5.6 Framework Concept

5.6.19 Signage and Wayfinding Strategy

In carefully considered locations, new signage elements will provide way-finding and interpretive information to support the landscape narratives expressed through paving, structures, sculpture and planting. While this document does not include specific signage design, a number of key principles and intentions are set out for the future development of a suite of signage and wayfinding elements.

The site wide external signage palette will comprise:

- Major orientation signs
- Arrival orientation signs
- Directional prompt signs
- Educational/cultural interpretive signage
- Large format typeface signage
- Braille and audio signage

Street name signage and pedestrian totem signage should be developed holistically as part of a new town signage strategy. Finger post signage should match the existing traditional finger post signage (Figure 5.883). Landmark and gateway signage should be unique to the waterfront and consider lighting and digital signage components. Jersey has many sources of inspiration for signage including colours, typeface, and painted signage, such as the replica H&M sign on Dumaresq Street. The waterfront signage strategy should look to weave this unique character into the site.

Signage shall be located outside of the pedestrian movement corridor, fixed to the ground with a ground plate. A minimum of 800mm of clear space shall be allowed on both sides of the signage for maintenance purposes and to ensure visibility. Lighting shall be provided to wayfinding signage to ensure information is visible at all times. Signpost numbers should be kept to a minimum and avoided wherever possible, in order to reduce clutter. Combining signage items onto other street furniture such as lighting columns should be encouraged.

Legend












- | | | | |
|---|-----------------------------|---|---------------------------------|
|  | Gateway totem |  | Street name |
|  | Finger post |  | Digital sign for parking number |
|  | Pedestrian totem |  | Parking entrance sign |
|  | Information point and kiosk |  | Dedicated cycle lane sign |
|  | Interpretive signage |  | Pedestrian movement |
|  | Landmark | | |



Figure 5.883 Diagram signage and wayfinding strategy

5. The Framework

5.6 Framework Concept

5.6.19 Signage and Wayfinding Strategy



Figure 5.884 Example of totem signage



Figure 5.885 Finger post signage



Figure 5.889 Historic photo of the HMV sign on Dumaresq Street



Figure 5.886 Example of lighting integrated into signage



Figure 5.887 Example of destination signage



Figure 5.888 Existing building plaque as typeface reference



Figure 5.890 Existing finger post signage

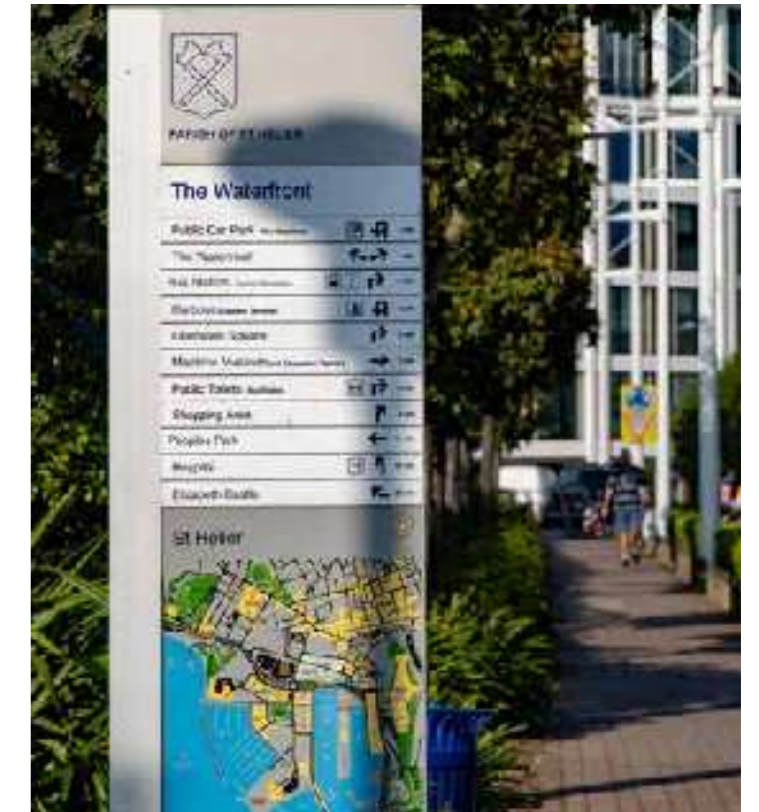


Figure 5.891 Existing parish directory signage

5. The Framework

5.6 Framework Concept

5.6.20 Lighting Strategy

A well designed lighting scheme will enhance the user experience, making a safe and enjoyable night time environment. Lighting will reinforce way finding, giving emphasis to the primary circulation routes and highlight special features within the landscape.

The priority for the lighting design is to create a safe and welcoming environment during the hours of darkness. The lighting of the public realm has been developed with cognisance of the relevant standards. Major roads will be lit to meet highway standards. Other secondary vehicular areas are lit with a pedestrian scale pole mounted light to suit requirements and emphasise the desired character of the site.

Lighting of pedestrian routes varies depending on priority of route, with pole mounted fittings providing wayfinding cues through the site. A range of smaller wall mounted and ground mounted fittings are used in lower priority areas and garden areas.

Building mounted light fittings are used where appropriate ensuring that routes are lit to create a safe environment for effective navigation and safety. CCTV camera coverage is provided to augment secure by design features and light levels are designed to facilitate operation of these cameras. CCTV will be mounted to light columns where appropriate.

Feature lighting is generally kept to a minimum but should be considered in public squares to enhance landscape and architectural features within the wider public realm.

Legend

 Primary Streetscape (Vehicle) A gateway, processional and safe	 Waterfront Low level and passive
 Squares and Primary Street (Pedestrian) Vibrant and creative	 Parkland Timed, soft and naturalistic
 Urban Streets (Vehicle) Slow, warm and safe	 Courtyard Functional and intimate
 Urban Street (Pedestrian) Neighbourhood	 Roof amenity spaces Soft and refined
 Lane Human-scale, intimate, fun and quirky	 Lighting feature - Public realm Interactive, meeting point, changeable
 Arcade Gateways, Artsy and entertaining	 Lighting feature - façade Gateway and accents



Figure 5.892 Diagram of lighting strategy

5. The Framework

5.6 Framework Concept

5.6.20 Lighting Strategy



Figure 5.893 Example of lighting integrated into P3 bleachers



Figure 5.894 Lighting integrated into feature seating in squares



Figure 5.895 Pole mounted lighting to squares



Figure 5.896 Inground uplighting and suspended lighting to arcades



Figure 5.897 Uplighting to façades of secondary routes



Figure 5.898 Catenary lighting to lanes



Figure 5.899 Pole mounted lighting to park

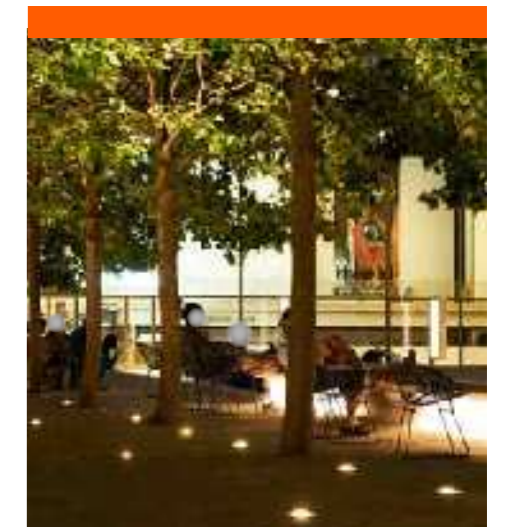


Figure 5.900 Uplighting to feature trees

5. The Framework

5.6 Framework Concept

5.6.21 Play Strategy

In developing the play strategy for the Framework, the design team have looked at the types of play required in order to meet the needs of existing and future residents. Play spaces will be positioned where they will be used and have passive surveillance.

The strategy is based around a series of narratives, including water, which help to give strong character and identity to the play features throughout the development using themes based on the history and landscape of the site. Play, for all ages is located throughout the framework as dedicated informal and formal play spaces.

Within the Framework, there is two designated play hubs, one in Les Jardins de la Mer and one within Marina Gardens. The former will respond to its coastal context and use reclaimed stone, water and sand to create a vibrant destination. Marina Garden's character will be more that of a garden with a series of play pods and social rooms nestled within planting.

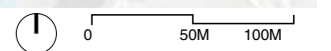
Along park paths and the streetscapes connecting these play hubs are various informal doorstep play elements. Opportunity for informal play should also be considered within the public squares.

Integration of natural landscape elements, seating opportunities and artistic features throughout the public realm provides a flexible, playable landscape to meet the needs of different ages and can be shared by all generations throughout the day.

The design team believes that provision for residents play as well as a new destination play hub is in line with the Government of Jersey's '8 Pledges to Put Children First'.



Figure 5.901 Diagram of play strategy



Legend

-  Play hub - destination play
-  Water play
-  Parks and gardens - natural play
-  Sports facilities - active play and recreation
-  Heritage play
-  Public open space - Squares
-  Community courtyards - Doorstep play
-  Neighbourhood - 'Incidental' playable space along the way
-  Waterfront - 'Incidental' playable space along the way

5. The Framework

5.6 Framework Concept

5.6.21 Play Strategy

KEY INGREDIENTS

The following vignettes demonstrate the key ingredients that will be considered to form a successful play environment as shown in figures 5.902 - 5.913.

Play provision for a wide variety of age groups has been considered as part of the framework and carefully distributed across the site. Les Jardins de la Mer and Marina Gardens provide amenity and interest for all age groups including;

- Doorstep Play 0-5+ - Landscaped spaces including engaging play features for young children under 5 that are close to their homes, and places for carers to sit and talk.
- Local Play 0-11+ - Spaces with landscaping such as mounding and equipment so that children can play and be physically active
- Youth Play 12+ - Social spaces for young people to congregate together, socialise and participate in informal recreation or physical activity.



Ephemeral Play - Water play 0-11+

Refines hand eye coordination, enhances motor skills development, introduces early concepts of maths and science. Equally the controlling of a water course through dams and weirs requires team work aiding the development of social skills



Pockets of Garden Play with Seating - 0-11+

Pockets of play are integrated within planting and create small social rooms. Activities set on and around a series of land formations and planting include play to help with motor skills including balancing, swinging, sliding, climbing, hiding and challenge



Natural Play -Adventure and active play 0-11+

Elements of risk and challenge are included within the play provision, which are appropriate to the needs of different age groups, while balancing safety and maintenance needs



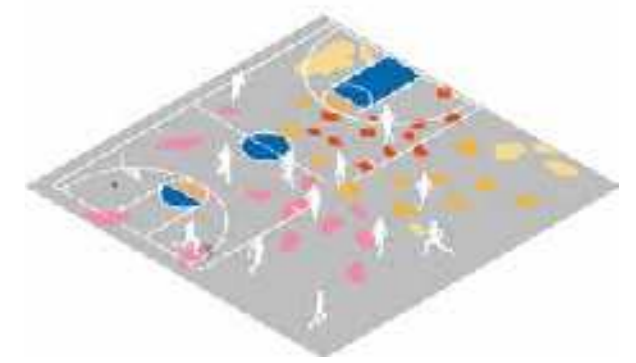
Doorstep Play - 0-5

Doorstep play features provide moments of discovery and joy for neighbourhood children along streets



Table Tennis and Social Rooms - Youth Play 12+

A social space for young people aged 11 + to congregate together, socialise and participate in informal recreation or physical activity



Half Courts -Youth Play 12+

A social space for young people aged 11 + to congregate together, socialise and participate in informal recreation or physical activity

5. The Framework

5.6 Framework Concept

5.6.21 Play Strategy - Typology Examples

TYOLOGY EXAMPLES

Legend

- Doorstep Play
- Local Play
- Youth Play



Figure 5.902 Play trails within swales and rain gardens



Figure 5.906 Slides



Figure 5.910 Climbing boulders



Figure 5.903 Stepping logs along streets



Figure 5.907 Waterplay



Figure 5.911 Half courts



Figure 5.904 Play trails



Figure 5.908 Water channelling and damming



Figure 5.912 Table tennis



Figure 5.905 Education trails



Figure 5.909 Sand pits



Figure 5.913 Flexible lawn

5. The Framework

5.6 Framework Concept

5.6.21 Play Strategy

GUIDANCE FOR PLAY PROVISION

The below tables sets out the required play provision. The SPG does not provide a calculator for child yield and the 0.1 HA area requirements per 1000 residents do not provide clarity in play quantum and requirements per age group. As such, the design team have benchmarked against The London Plan’s guidance of 10sqm per child and the ‘Cambridgeshire Insight: Revisions to Child Yield Multipliers for New Developments, Research Group, September 2015’ to calculate child yield for the development. This exceeds the 1,830 sqm minimum play provision required within the SPG.

Unit Mix				
1 Bed	2 Bed	3 Bed	4 Bed +	Total
460	328	196	0	984

Child Yields			
Early Years	Primary School	Secondary School	Total
220-320	220-320	150-220	590-860

Summary	
As per London Plan (10sqm per child)	As Designed
5,900-8,600 sqm	9,899sqm*

*Note: Includes 4,700sqm of lawn, 3,000 sqm within Les Jardins de la Mer and Marina Gardens play hubs (including planting), 789 sqm within West Park Gateway, 700sqm within courtyards and 1st floor podiums to B1 and F1, 165sqm of water jet play in the Waterfront Square, 395sqm of doorstep play within streets and the Lane, and 150 sqm of door step play within the Central Square.



Figure 5.914 Illustrative View Les Jardins de la Mer Play Hub

5. The Framework

5.6 Framework Concept

5.6.22 Sustainable Urban Drainage Strategy

Where appropriate permeable surfaces have been integrated into the Framework. The hard landscaping also features a range of paving styles including self binding and bound gravel. The framework includes mix typologies of planting including, perennial and shrub planting, rain gardens and bio-swales, all adding to the infiltration of stormwater and aeration of the soil.

Pavements in various areas of the site are designed to drain into adjacent planting areas to assist management of stormwater runoff and reduce reliance on irrigation systems. Specific rain garden design has been included in key areas such as streets and road edges which tolerate periodic inundation and slow drainage into the subsoil.

A large portion of the site is built over substructure (podium basement) and includes reservoir boards (water storage drainage mats) which maximise substrate volumes and will increase water storage and assist with on-site water management.








The proposed sustainable drainage system offers an opportunity to achieve two important goals that contribute to sustainable practices:

- Collect, direct and cleanse site surface runoff
- Collect, harvest, cleanse and store runoff for recycling as irrigation for planting and lawn areas.



Figure 5.915 Diagram of sustainable drainage system (SuDS)

Legend

	Permeable Paving Surface		Rain Gardens
	Lawn		Accessible Roof (approx 40% of which to be planting)
	Plant Beds		Brown Roof
	Bio-swales		

5. The Framework

5.6 Framework Concept

5.6.22 Sustainable Urban Drainage Strategy







The drainage strategy for the Framework includes provision for eservoir boards (water storage drainage mats) to a depth of 150mm, however, the design as illustrated in Figure 5.916 has tolerance for greater depths and capacity should this be required.

For further information regarding the catchment areas, and attenuation capacity, refer to the Drainage Strategy including in the EIS appendices.



Figure 5.916 Diagram of below ground attenuation capacity

Legend

- | | |
|--|---|
|  50 - 150mm deep attenuation below soft landscape |  150 - 850mm deep attenuation below hard landscape |
|  150mm deep attenuation below soft landscape |  150 - 850mm deep attenuation below lawn |
|  150 - 300mm deep attenuation below hard landscape | |
|  150 - 450mm deep attenuation below hard and soft landscape | |

5. The Framework

5.6 Framework Concept

5.6.23 Roof Strategy

The Framework includes an impressive roofscape comprising of 10,646 sqm of amenity roof space and 9,885 sqm of biodiverse roofs.

The roofscape will consider the following elements;

- Safety and security at an elevated level
- Offer gathering and social spaces to help foster a sense of community
- Sheltered spaces protected from coastal winds
- A mixture of informal and formal design languages and experiences
- The opportunity to grow and maintain planting including storage provision for gardening equipment
- Consider the provision of larger terraces that are not overlooked and could be used for private dining and parties
- Where there are larger terraces, such as B1 and F1, there is potential to integrate sports uses and fitness themes
- Consider work-from-home external spaces by including work tables with integrated power points
- Private terraces will accommodate spill-out for pots, planters and furniture.

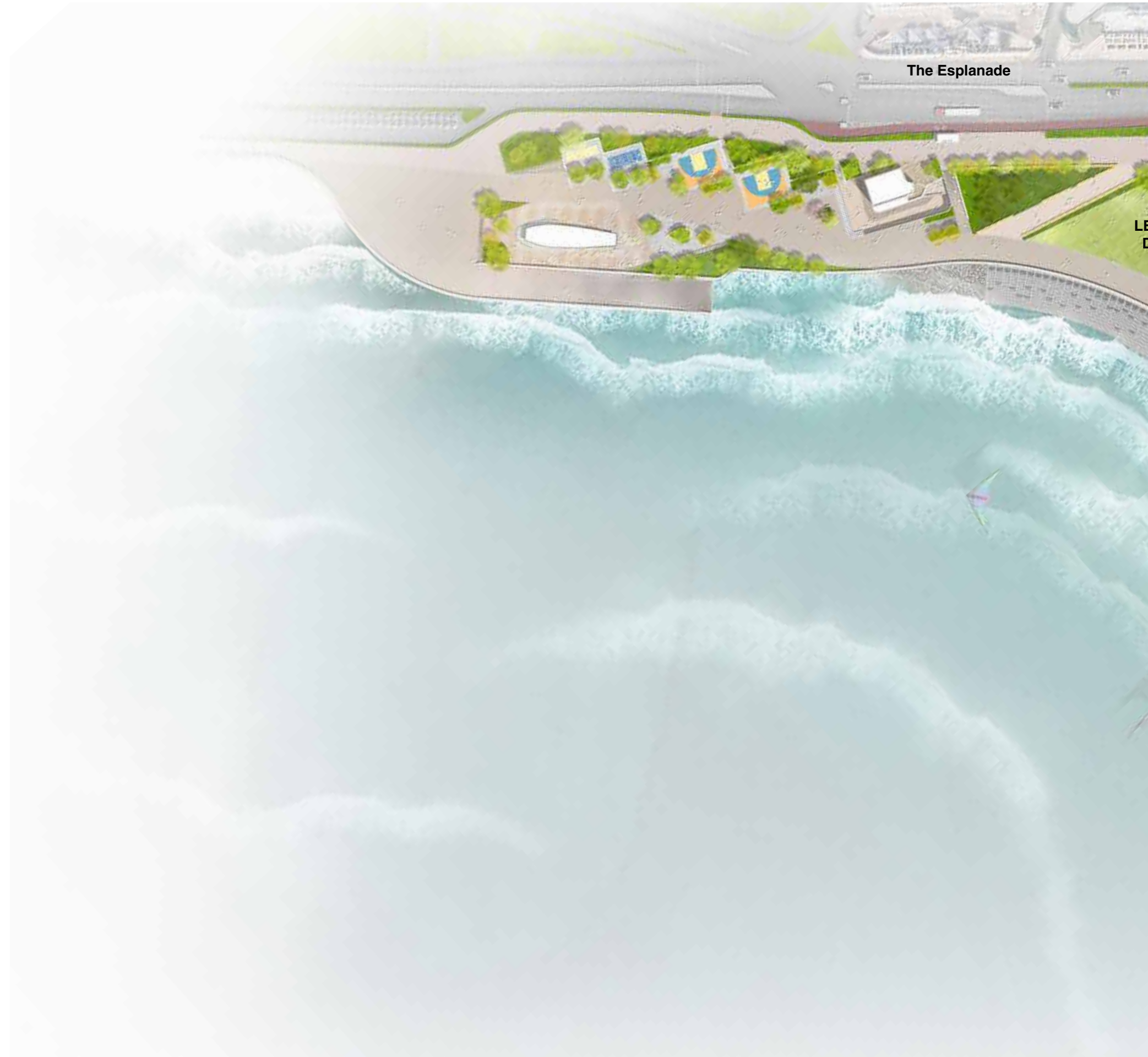
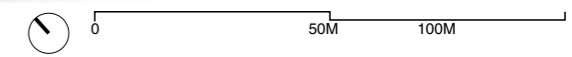




Figure 5.917 Illustrative Roof Plan



5. The Framework

5.6 Framework Concept

5.6.23 Roof Strategy

The roofscape shares its space with plant equipment, PV's and other roof infrastructure. Where space is available, the proposals will see a mix of both lightweight and extensive brown roof material. This will serve several purposes for the buildings, such as absorbing rainwater, providing insulation, creating habitats for wildlife, helping to lower urban air temperatures and locally mitigating the urban heat island effect. Biodiverse roofs will be accessible only for maintenance purposes. On a number of buildings PV cells will also be incorporated above the brown roof finished levels providing a renewable energy source. These roofs improve local biodiversity and absorb a proportion of water run-off.

Biodiversity enhancement features will also be introduced to maximise potential for biodiversity or to provide habitat for a specific target species. Examples include small log piles, slabs and twigs gathered from the local area. Bird and bat boxes will also be incorporated into biodiverse roofs to assist maintenance of local wildlife.

In addition to biodiverse roof systems, each parcel should look to include communal amenity terraces. These spaces will include the following features;

- Social spaces including seating and communal tables
- Communal garden beds and herb gardens
- Play integrated throughout, offering an exciting and secure space for children to explore, play and develop
- Wind enclosure and protection

Where larger sheltered podium terraces can be accommodated, such as B1 and F1, designs will include;

- Outdoor exercise facilities
- Running tracks
- Lawn

Legend





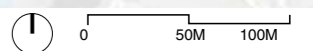
-  Accessible Roof - Primary Amenity space
-  Accessible Roof - Secondary Amenity space
-  Biodiverse Roof
-  MEP



Figure 5.918 Diagram of roof strategy



5. The Framework

5.6 Framework Concept

5.6.23 Roof Strategy



Figure 5.919 Intimate seating and setback balustrade edge



Figure 5.920 Roof top running loop



Figure 5.921 Residents amenity terrace



Figure 5.922 Biodiverse roof



Figure 5.923 Wind enclosure to roof terrace

5. The Framework

5.6 Framework Concept

5.6.24 Biodiversity Strategy

THE NATURAL WORLD IS FUNDAMENTAL TO OUR SURVIVAL

We live in unprecedented times, that call for our awareness – as individuals and as a society. With a landscape led approach, the SWSH Visioning framework acknowledges this, and will ensure a rigorous benchmark is set for Jersey. The SWSH visioning framework biodiversity strategy follows the mitigation hierarchy of avoid, minimise, restore or rehabilitate when considering the outline planning design and the considerations for mandatory clauses within the application design codes. The design aims to:

- Avoid creating impacts from the outset
- Minimise the duration, intensity and/or extent of impacts the framework has on SWSH
- Restore/rehabilitate the ecosystem – healing the land with measures to provide a net gain in biodiversity.

There are a number of opportunities to enhance the site wide biodiversity and ecology and to mitigate the impact of the proposed development. These include developing designs that:

1. Create Stepping Stones - Provide a network of living roofs and green spaces to form potential wildlife habitats and green corridors.
2. A diverse Planting Scheme - Promote sustainable planting and incorporate native and/or adaptive plant species into the planting designs with particular focus on the priority species of Jersey.
3. Urban Woodland – Increase tree canopy coverage site wide with understorey habitat creation.
4. Waterbodies – a Sustainable drainage solution and habitat creation.
5. Nesting and Roosting features - Incorporation of bird and bat boxes within the existing tree network

INCLUSION OF GREEN ROOFS, LIVING WALLS AND LIVING PILLARS

- Create ‘Stepping stones’ between parkland and woodland habitats to the west and Fort Regent SSI to the east.
- Provide biodiverse wildflower roofs with areas of rocky substrate, bee blocks, log piles, water containers.

- Inclusion of intensive roof gardens with planting beds and small trees
- Specific focus plants to consider include: Sea radish, ribwort plantain, mallow, bird’s-foot trefoil, dove’s-foot crane’s-bill, yarrow, red campion, fragrant evening primrose, cat’s-ear, bent grasses, fescue grasses, hare’s tail
- Consider Seeded or blanket form inaccessible roof coverage

A DIVERSE PLANTING SCHEME

Varied habitat planting which may include, but not limited to:

- Trees – Maple, silver birch, oak, rowan, hornbeam, pines, holm oak, mulberry, alder, medlar, cherry, pear
- Shrubs – Hawthorn, elder, hawthorn, cotoneaster, crab apple, tamarisk, broom, gorse, lilac, dogwood. Dense non-native privet hedging.
- Climbers – Jasmine, honeysuckle, guelder rose, dogrose, ivy
- Planting beds – Cornflower, rosemary, angelica, heathers, hebe, spurge, borage, buddleia, fennel, lavender, privet, mallow, oxe-eye daisy, marjoram, thyme,

URBAN WOODLAND

Existing areas of urban woodland on site have quite high bird populations. To mitigate the loss of habitat to facilitate development new woodland threads and clusters for consider the following:

- Woodland suited to the west of the site, within parkland area and near to surrounding parkland and woodland.
- Aim for a sheltered area and create a copse of mixed woodland with a shrubby understorey, with log piles, hedgehog boxes etc.
- Create tree lines extending from woodland area.

WATER BODIES – EPHEMERAL AND PERMANENT WATER

- Consider urban SUDs with bio-swale ‘blue corridors’
- Rain gardens to capture surface runoff from buildings to create wetland wildlife areas.

NESTING AND ROOSTING FEATURES

- To be included within buildings, on green roofs, living walls, woodland and planting beds.
- Focussing on invertebrates, nesting birds and urban bats.
- Bat and bird boxes need to be used in conjunction with mitigated lighting.
- Orientation depending on species and use.
- Features best placed within vegetated areas with nearby dispersal corridors and near to wetland areas
- Integrated and surface-mounted bat boxes (pipistrelle species), integrated and surface-mounted bird boxes (sparrows, swifts, garden birds), log piles, hedgehog boxes, bee bricks, loose rubble piles (on green roofs)



Figure 5.924 Habitat for invertebrates



Figure 5.925 Pollinators



Figure 5.926 Biodiverse roof



Figure 5.927 Bird boxes

5. The Framework

5.6 Framework Concept

5.6.25 Urban Greening Strategy

The SWSH Visioning Framework climate positive, climate resilience and sustainability credentials will use a number of green benchmarks and certification principles. For the external environment The London Plan (2021) Urban Greening Factor (UGF) has been used as a best practise principle. UGF provides an easily accessible means by which Jersey local authority can score the merits of various green infrastructure and SuDs interventions across the Waterfront Framework. The UGF ensures development proposals contribute to the greening of Jersey by including urban greening as a fundamental element of site and building design, and by incorporating measures such as high quality landscaping (including trees), green roofs, green walls and nature-based sustainable drainage. The National Trust for Jersey is aiming for thousands of trees to be planted in the coming years, the SWSH Visioning Framework has an opportunity to work with the Trust to provide long term green and blue infrastructure for the Island.

The Outline Planning Scheme exceeds the recommended scope of 0.4 required for residential developments as shown in the below table.









Urban Greening Factor				
	Surface Cover Type	Factor	Area	Output
	Semi-natural vegetation (e.g. woodland, flower-rich grassland) created on site.	1	5745	5745
	Intensive green roof or vegetation over structure. Vegetated sections only. Substrate minimum settled depth of 150mm – see livingroofs.org for descriptions A	0.8	4300	3440
	Standard trees planted in natural soils or in connected tree pits with a minimum soil volume equivalent to at least two thirds of the projected canopy area of the mature tree – see Trees in Hard Landscapes for overviewB.	0.8	25295	20236
	Extensive green roof with substrate of minimum settled depth of 80mm (or 60mm beneath vegetation blanket) – meets the requirements of GRO Code 2014C.	0.7	6190	4333
	Flower-rich perennial planting – see Centre for Designed Ecology for case-studiesD.	0.7	12141	8498.7
	Rain gardens and other vegetated sustainable drainage elements – See CIRIA for case-studiesE.	0.7	4463	3124.1
	Water features (chlorinated) or unplanted detention basins.	0.2	466	93.2
	Permeable paving - see CIRIA for overviewJ.	0.1	10262	1026.2
	Total Output:			46496.2
	Application Area m ² (excluding sea area):			114580
	Total Score:			0.41



Figure 5.928 Diagram of Urban Greening Factor

5. The Framework

5.6 Framework Concept

5.6.26 Events and Cultural Strategy

The SWSH Visioning Framework aims to fit within an existing cultural ecosystem. The existing community is passionate about art, culture and heritage with many community centres, museums, galleries and performance spaces across the island. The most significant existing feature being Elizabeth Castle, a cultural anchor on the waterfront. The Castle takes between 50,000-60,000 visitors every year.

The Jersey Art Strategy has been commissioned and is currently a draft. The Island strategy is a complex undertaking with thorough community engagement required as well as a review of all existing facilities. The SWSH Visioning Framework future reserved matters applications should align with this strategy. Engagement with key stakeholders is also required ongoing to ensure varied, meaningful and inclusive opportunities for cultural participation on the waterfront.

What is Culture? - As the Jersey Art strategy is still a draft, the SWSH Visioning Framework adopts the widest definition of culture. It encompasses arts (the performing and visual arts, including music, craft, fashion and the creative industries), sports and physical activity, cultural and built heritage, libraries (reading development, creative writing and learning), parks (open spaces, wildlife habitats, community gardening and informal leisure), playgrounds, and tourism (visitor attractions and festivals).

This review of Arts and Culture for the SWSH Visioning Framework is not a final strategy, but a note of intent which should be read in coordination with the Jersey Art Strategy. The outline planning application will look to reflect what is important to St Helier and Jersey; from celebrating heritage to delivering positive change.

The Framework aims to:

1. Respect the existing context
2. Promote quality, innovation and a distinctive Jersey
3. Impact everyday lives through cultural richness
4. Engage and empower the residents of Jersey
5. Support the local cultural ecosystem – ensure that there

- is synergy and not competition
- 6. Develop local skills and talents – a strong creative legacy for the future
- 7. Consider cultural, physical and mental well-being for all, accessible to residents and tourists.

The SWSH Visioning Framework will facilitate the following Arts and Culture:

- Temporary / meanwhile (phased framework and permanent annual events)
- Live / performance (internal or external)
- Permanent (trails, buildings, objects, spaces)

The following needs to be considered to achieve the above:

- A Jersey Arts, Culture and Heritage Strategy
- Investment
- Detailed programme of events – complementing existing and new
- Review the existing cultural landscape – the people and what would benefit them
- Engagement – as part of the island strategy and on the SWSH Visioning framework
- Delivery – How? When? A phased programme is required for the Island and on the waterfront

What is the potential for SWSH Visioning Framework Arts, Culture and Heritage? The Framework suggests the following being facilitated on the waterfront:

- Creative Hoardings construction programme
- Events and Festivals – Existing and new attractions
- Sensory experiences – Sound, touch and taste
- Pop-ups – flexible and seasonal
- Wayfinding and signage – playful, quirky, moments of joy and discovery
- Lighting – day and night experience
- Sport – provides colour, sound, animation and passion
- Performance – Facilitate Impromptu and formal performance
- Play – For all ages and abilities
- Articulation of building entrances and built form

- gateways
- Health and Well-being – community driven
- Food – Education, growing and small business production
- Heritage and mapping - interpretation



Figure 5.929 Triathlon



Figure 5.930 Food festival



Figure 5.931 Battle of the Flowers



Figure 5.932 Night markets

5. The Framework

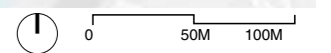
5.6 Framework Concept

5.6.26 Events and Cultural Strategy

The events and programming strategy for the public realm should be supported by the appropriate infrastructure. The public squares, Marina Gardens and Les Jardins de la Mer should all have 3 phase power provision for events. Equally ground floor building uses should be complementary to the proposed programme and act as a catalyst for events.



Figure 5.933 Diagram of events and cultural strategy



Legend

- Primary event space - Art, Food festival, Farmer's market, Music Event, etc
- Occasional event space
- Lawn event space - Music festival, Outdoor cinema, Triathlon
- Market street
- Residential - informal events / Street party
- Event catalyst and cultural hub
- ⚡ Event power supply point

5. The Framework

5.6 Framework Concept

5.6.26 Events and Cultural Strategy

TYOLOGY EXAMPLES

Temporary Landscape Opportunities - Aims and Principles
It is envisaged that due to the phasing of SWSH Visioning Framework plots and whole phases will require some form of meanwhile use to engender a sense of interest and anticipation with the community. The following are a series of aims and principles to guide temporary opportunity planning.

ALWAYS EVOLVING

- Temporary, site-specific projects
- Temporary projects allows for low risk experimentation
- Pursuing any means of fostering more experimentation and meaningful participation in the city, education and work in schools

EVOLVING IDENTITY OF PLACE

- Promote temporary activation of public spaces, particularly while SWSH Waterfront is evolving.
- The incomplete and changing nature of SWSH Waterfront can be embraced. As the Waterfront community grows and evolves, temporary events and projects can activate 'empty' space and test potential uses, helping to seed the role and character of the evolving areas.
- Incorporate temporary installations to explain future projects and initiatives in the public domain. Creative and clear information helps to manage public expectations and involves the community in the urban renewal process.
- Encourage short-term uses on vacant sites including 'creative spaces', installations, pop-up tenancies and events.
- Encourage temporary activities such as busking, pop-ups, vendors and flower stalls to activate public spaces.

DIVERSITY OF USE

- Provide a mix of public spaces to support a diversity of uses and meet the needs of the evolving population within St Helier
- Ensure civic spaces are designed to accommodate a range of events and civic gatherings and provide a comfortable environment for everyday uses.
- Provide facilities to support structured and unstructured recreation.
- Increase opportunities for complementary events that contribute to the identity of St Helier.

IDENTITY OF PLACE

- Draw on the embedded qualities of the site to instil the character of public space
- Ensure all public space is purposeful and well defined.
- Promote well-integrated and place-responsive public art.
- Promote temporary activation of public spaces

INTERFACES

- Encourage passive surveillance opportunities and adjacent uses to increase the safety of public spaces
- Create high quality surroundings for public spaces.

AMENITY

- Ensure public spaces have access to the sun while also providing adequate shelter and wind protection.
- Ensure lighting is designed to provide a safe and attractive public space environment at night.
- Ensure adequate provision of seating, drinking fountains, bins, public toilets, signage and other amenities in public spaces.

CONNECTIVITY

- Walking and cycling connections through and between public spaces.
- Improve existing connections to the broader public space network.

- Use links between public spaces to enhance biodiversity and environmental values.

COMMUNITY

- SWSH Waterfront is designed for people. Temporary large outdoor spaces will provide stages for interaction. Smaller intimate temporary spaces could be provided for more individual expression.

The following list is an example list of opportunities to be considered in future design and construction stages:

- Creative hoarding
- Pavilion / Marketing suites
- Performance zones - festival
- Play objects / landform
- Temporary nature watching hides
- Pocket retail
- Tree nursery / farm for future phases
- Small business / research pods
- Artist in residence
- Education markers - species types
- External exhibition space
- Turfed addition kick-around space
- Wildflower / Amenity grassland
- Pop-up sport / games / community events
- School holiday programme open space
- Temporary skate and all wheel park
- Medium term allotments



Figure 5.934 Pop-up orchards



Figure 5.935 Pop-up cinemas



Figure 5.936 Creative hoarding



Figure 5.937 Temporary nursery holdings for tree establishment

5. The Framework

5.6 Framework Concept

5.6.27 Health and Well-being Strategy

Jersey Sport's, Inspiring an Active Jersey 2020-2030 seeks to increase physical activity on the island by 10% in 2030. The Framework promotes physical recreation as well as fostering a culture of active travel. This is achieved through provision of clear routes for cycling as well as consideration for running routes.

The site includes a 2.5k loop and notes the potential to link across Elizabeth Marina to improve this route. The Framework also continues to facilitate the Triathlon and improve the functionality of the transition point.

Legend

- 5km Run Option 1 (2 laps)
- - - Potential Future Link
- 5km Run Option 2 (2 laps)
- - - Potential Future Link
- - - Triathlon - Cycling route
- - - Triathlon - Running route
- - - Triathlon - Swimming route
- /// Triathlon - Transition zone



Figure 5.938 Mural



Figure 5.939 Diagram of health and well being strategy

5. The Framework

5.6 Framework Concept

5.6.28 Art and Interpretation Strategy

ACCESSIBLE HISTORY AND SITE IDENTITY

St Helier is rich in history and culture providing many opportunities to celebrate and unveil stories through public realm interventions including artwork, commemorative plaques, urban art and interpretation.

Opportunities for interpretation include text inlays, which echo the sites history such as the Battle of Jersey or the German occupation. An Interpretation strategy should be part of a public consultation and has the potential to include local artists so the interpretation is unique, of its context and a layered approach.

Interpretation opportunities include;

- A historic trail integrated within the Lane paving treatment
- A waterfront interpretation trail along the promenade including signage and interpretation plinths

Artwork opportunities include:

- Murals/façade integrated public art
- Sculpture
- Individual arcade characters

Legend









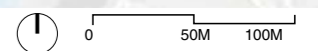
-  Accent public art piece/ landmark
-  Opportunity for public art piece
-  Façade-integrated public art
-  Arcade - public art / lighting
-  Interpretive signage and paving for heritage sea wall
-  Lane - interpretive paving and catenary lighting art
-  Waterfront trail - interpretive paving and lighting
-  Gunners arc trace of the German casemate - metal inset



Figure 5.940 Diagram of art and interpretation strategy



5. The Framework

5.6 Framework Concept

5.6.28 Art and Interpretation Strategy



Figure 5.941 Coin set within paving mortar, St Helier



Figure 5.942 Face of Libération community artwork, The Esplanade, St Helier



Figure 5.943 Interpretive map within paving



Figure 5.944 Interpretive text



Figure 5.945 Interpretive text inlays



Figure 5.946 Interpretive map within paving

5. The Framework

5.7 Approach to Architecture

5.7.1 Design Principles

INTRODUCTION TO THE DESIGN PRINCIPLES

The 2013 Supplementary Planning Guidance: advice note 'Design Guidance for St Helier' sets out broad guidance to maintain or enhance the essential urban design features of St Helier which contribute to the local character of the town. The guidance is intended to offer a sophisticated and objective assessment of the character of the town, and provide a policy base for management, protection and enhancement.

The guidance for future development is to:

- Provide a set of simple principles to protect and enhance genuinely significant urban characteristics
- Give architects and developers flexibility to respond in a positive way
- Create conditions that encourage the development of sensitive and creative urban outcomes
- Improve communication and participation among developers, designers, planners and residents in the design development process

The guidance suggests that all development in St Helier should be assessed on its individual merits but also in terms of the contribution it makes to the efficiency and vitality of the town and to the quality of the wider townscape. Specifically, new development should:

- Minimise environmental harm
- Contribute to distinctiveness and integrate with surrounding townscape
- Improve first impressions and legibility
- Protect important views
- Make coherent layouts
- Contribute to the vitality of the town
- Make positive relationships with public space
- Strengthen and extend the network of routes and space

Whilst much of the guidance in the SPG is about the design of the townscape the guidance for minimising environmental harm emphasises that buildings and landscapes should be designed, constructed and operated in an environmentally responsible manner. The environmental impact of development should be considered over its entire life and be capable of adapting to future change.

Sustainable design and minimising the impacts of climate change are fundamental design principles for the SWSH Visioning Framework and are addressed in more detail in Chapter 6.9 of SWSH Visioning Framework Sustainability Statement.



Figure 5.947 View of St Helier New North Quay looking towards Fort Regent



5. The Framework

5.7 Approach to Architecture

5.7.1 Design Principles

CHARACTER AREA GUIDANCE

The 2013 Supplementary Planning Guidance (SPG): advice note 'Design Guidance for St Helier' provides specific guidance for developers and architects for each of the ten character areas originally identified in the WMUD St Helier Urban Character Appraisal October 2005. This is to ensure that the urban character of each area is not diluted and includes a description of:

1. What the area is like - a summary description of the area's characteristics
2. What can be achieved - a statement of the aims for the character area
3. How these can be achieved - a plan showing the controls applied with brief narrative under each building characteristic

Twelve guiding principles have been developed for building characteristics that are distinct and definable for each urban character area.

1. HORIZONTAL/ VERTICAL

This refers to the key features of a building's elevation that contribute to the rhythm of the individual façade and/or the whole street. A vertical or horizontal emphasis is formed through the predominant direction and proportion of the main building elements.

Most of the urban townscape of St Helier is characterised by buildings with a distinctively vertical emphasis but there are some notable exceptions, especially along parts of the waterfront.

Guidance: A reference to neighbouring properties and the architecture of the wider character area will usually provide the necessary evidence for the appropriate treatment for new elevations.

2. TURNS THE CORNER

Corners are important elements of the townscape as they define nodal points and can be very significant factors in the overall legibility of St Helier.

Guidance: The treatment of new corners is an opportunity for visual emphasis and the introduction of height or skyline features where appropriate.

3. COLOUR

Historically the predominant colours found in St Helier are characterised by the palette of colours derived from indigenous natural materials including natural granites and sandstones. Subsequent architectural styles have introduced stucco, cementitious renders and bolder coloured render systems.

The use of colour treatments can produce harmony, diversity or disharmony. The use of colour on a single building, particularly in an urban setting, can be discordant if it is not considered in relation to its neighbours and the wider streetscape.

Guidance: The SPG recommends a limited colour palette as it will tend to produce a more coherent and harmonious townscape.

4. MATERIALS

The choice of materials for a building can produce harmony, diversity or disharmony within a single elevation or between adjoining buildings, depending on colour, texture, the manipulation of the material and its unit size.

Guidance: Generally homogeneous uniform treatments tend to be used within the town and small unit materials such as brick do not complement the character of St Helier.

5. MASSING

The scale of buildings affects the scale of streets and spaces and is a strong determinant of urban character.

Guidance: Analysis of the immediate architectural context will help to determine the appropriate height and massing of new development.

6. BUILDING LINE

The building line defines the edges and scale of the street and a consistent building line and length has a pronounced influence on the sense of cohesion along a street. The vast majority of St Helier streets have very consistent and uninterrupted building lines that can be easily identified and adopted in new development.

Guidance: Analysis of the immediate architectural context will help to determine if there should be variation to the building line.

7. DIVERSITY/HOMOGENEITY

The St Helier townscape has areas such as parts of Havre de Pas that are highly coordinated and more homogeneous with a consistent use of scale, style detail and colour. Other parts of the town are inherently more diverse, with a mix of individualistic architectural approaches.

Guidance: Where new development is taking place in an area where the architectural approach is consistent, new buildings must adopt elements of significant local architectural themes - or contemporary interpretations of them. Where it is more diverse is typical, a less contextual approach can be applied.

8. FRONTAGE PROPORTION

The proportion of a building frontage is a function of the plot width and building height. The dimensions of the frontage contribute to the underlying pattern of urban grain as well as establishing a visual rhythm along the elevation of the street.

Guidance: An assessment of typical frontage proportions adjacent to a development site will help guide the design treatment – and where necessary subdivision – of the frontage.

9. SCALE OF DETAIL

The details on a building elevation provide visual interest and give it scale and character. It often creates the unique

visual clues and narratives that make a development distinct and memorable.

Guidance: Where there is an observable pattern to the scale of the detail, new development should respect and complement that pattern.

10. ROOF SHAPES AND FINISHES

The treatment of eaves line, roof planes and roofline silhouette are important architectural features in St Helier. Pitched roofs, flat roofs and mansards are all typical in St Helier and are representative of the rich mix of architectural styles that are characteristic of the town.

Guidance: In general, reference should be made to the immediate existing urban built form for an indication of the most suitable roof shape and finish approach unless the context has little historical precedent to draw upon.

11. ACTIVITY AND STREET INTERFACE

The treatment of the ground floor of development has a profound impact on the character and animation of the street.

Guidance: The design of new buildings should make a significant contribution to the vitality of the adjacent street and the wider area through a diversity of ground floor uses and transparent street frontages.

12. FLANKS

'Flanks' are rear or side elevations of buildings that become important where they – often unintentionally – become particularly conspicuous. They can be as important as corners in some places, especially where they terminate a vista or mark an important junction.

Guidance: The articulation of the exposed elevation through the organisation of materials or the use of details or penetrations for example, is important to avoid a blank or over-scaled appearance.

5. The Framework

5.7 Approach to Architecture

5.7.1 Design Principles

The SWSH Visioning Framework has its own architectural typology zones that have been developed to create a rich variety of distinct places and experiences within the new waterfront development. The SWSH Visioning Framework architectural typologies include:

- Parkside
- Waterfront
- Square
- Neighbourhoods
- Leisure Quarter
- Commercial Quarter
- Apex Building

Three additional design principles have been developed for the SWSH Visioning Framework based on urban analysis of relevant Jersey and International precedents:

13. BUILDINGS TO GROUND

Buildings in St Helier come to ground in a number of different ways depending on the uses at ground level and the architecture of the building frontage above. Historic buildings traditionally constructed tend to come to ground as piers, columns or arches.

Guidance: Buildings should come to ground with piers, columns or arches where appropriate. Where the building has a clear structural expression and rhythm this should extend to ground to articulate the building frontage.

14. KEY FAÇADES

There are a number of key public spaces in St Helier where set piece buildings address the public realm and are intrinsic to the townscape. In particular Royal Square has a number of public buildings that frame the square.

Guidance: An assessment of typical frontage proportions adjacent to the key façade will help guide the design treatment and where necessary subdivision of the façade to allow for greater variety in the architectural expression

15. HARD/SOFT

Recent large scale development along the waterfront such as Castle Quay has developed a building typology with harder, more civic scale outward facing façades and an inner, softer more human scale façade treatment arranged around an inner courtyard. Guidance: Buildings arranged around private communal courtyards with a residential use should have a complimentary outward and inward facing façade approach. Inward facing façades should utilise a softer, finer grain palette of materials and details to create a more human scale façade treatment.

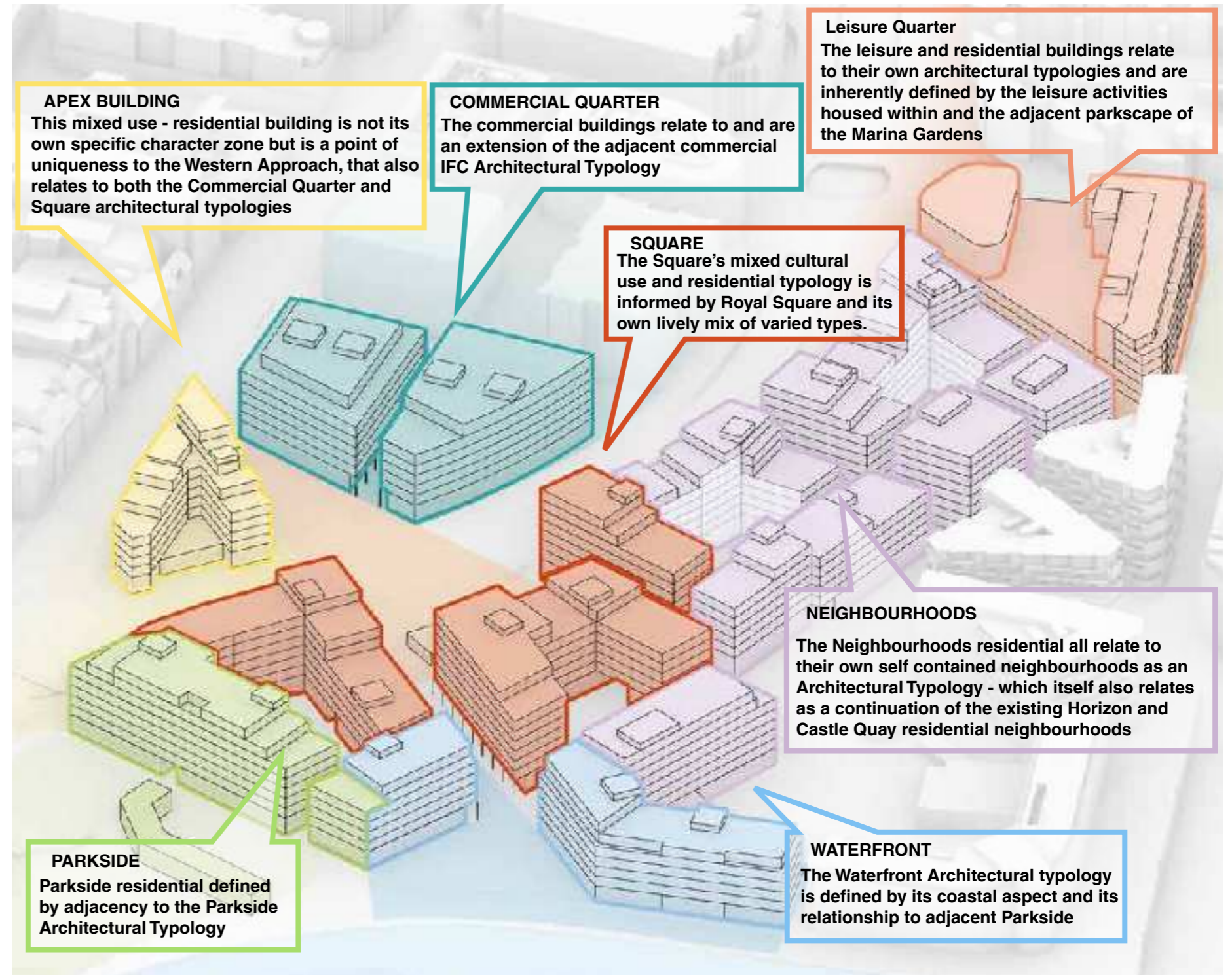


Figure 5.948 SWSH Visioning Framework character areas diagram

5. The Framework

5.7 Approach to Architecture

5.7.1 Design Principles

RELEVANT TYPOLOGIES - PARKSIDE

ADJACENT CHARACTER AREA DESCRIPTION:

The Parkside typology is adjacent to CA7 and the Esplanade and forms a prominent edge to the new Les Jardins de la Mer. It has long views across the seafront towards West Park and is in a strategic location between the Esplanade and the proposed Waterfront typology.

SUMMARY OF CONCLUSIONS:

Analysis of the existing buildings along the Esplanade and within CA7 indicate that they typically share the following architectural characteristics:

- Façades with a clear top, middle and bottom
- Vertical subdivision of the façades and an absence of long, continuous elevations
- Ordered and set back upper levels with vertical compositional emphasis.

DESIGN PRINCIPLES:

Guiding design principles for the architecture of the Parkside typology extracted through analysis of the existing context includes:

- Frontage proportion Figure 5.953 shows a clear horizontal expression to the building façade with a clearly expressed top, middle and bottom
- Roof shapes and finishes - Set back upper levels with contrasting darker anodised aluminium clad finishes - Figure 5.954.
- Roof shape and finishes - Figure 5.954 shows the incorporation of balconies and terraces.
- Horizontal/vertical - The vertical subdivision of long façades, as shown in Figure 5.955, creates variations in scale, colour and detail.



Figure 5.949 Gaspe House - top floor set back



Figure 5.950 44 Esplanade - framed elevation



Figure 5.951 Ed Le Quesne House - inset balconies and detail in railings



Figure 5.952 Capital House - vertical emphasis

ADJACENCIES

LOCAL and INTERNATIONAL INSPIRATION

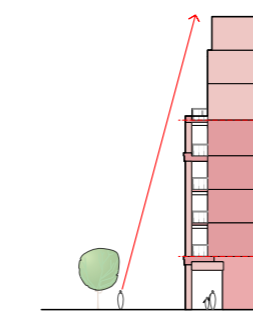


Figure 5.953 Frontage proportion diagram



Figure 5.954 Roof shapes and finishes diagram



Figure 5.955 Horizontal and vertical diagram

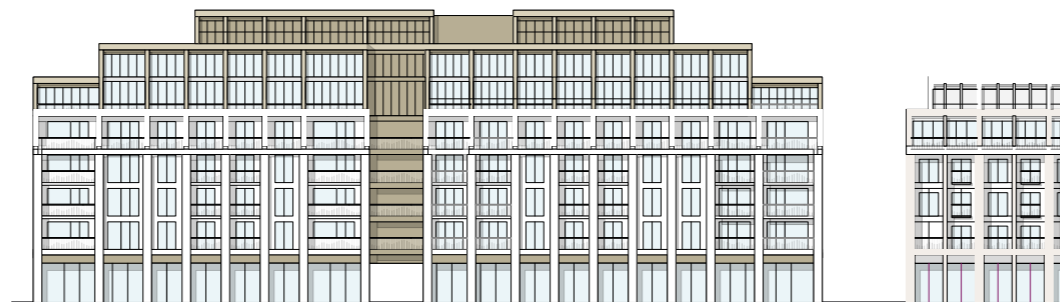


Figure 5.956 Parkside typology elevation



Figure 5.957 Adjacencies diagram

5. The Framework

5.7 Approach to Architecture

5.7.1 Design Principles

RELEVANT TYPOLOGIES - WATERFRONT

ADJACENT CHARACTER AREA DESCRIPTION:

The Waterfront typology is within CA6 and overlooks the seafront with long views across the seafront towards West Park. It forms a highly visible and important part of the emerging ribbon of modern development along seafront and marinas that form the new outer edge to St Helier.

SUMMARY OF CONCLUSIONS:

Analysis of the existing buildings along the St Helier waterfront indicate that they typically share the following architectural characteristics:

- Generally ordered façades but with informal elements and potential flashes of colour layered in
- Large floor plate buildings with stronger horizontal emphasis to the façades, inset terraces, verandas and balconies
- Many of the buildings have a horizontal composition further emphasised by inset terraces, verandas and balconies

DESIGN PRINCIPLES:

Guiding design principles for the architecture of the Waterfront typology extracted through analysis of the existing context includes:

- Scale of detail - As illustrated in Figure 5.962, inset terraces and balconies should be incorporated into the building design to provide shelter from the maritime environment.
- Roof shapes and finishes - The roof scape should be terraced to take advantage of the southern aspect and sea views as shown in Figure 5.963.
- Horizontal/ vertical - The building façades should have a horizontal emphasis with the structural frame creating vertical subdivision as shown in Figure 5.964.
- Scale of detail - Figure 5.965 illustrates the need for additional variation, detail and texture to the façade that should be added via the layering of screen elements to provide additional shelter and shading.



ADJACENCIES
Figure 5.958 Horizon Development



Figure 5.959 Castle Quay



LOCAL and INTERNATIONAL INSPIRATION
Figure 5.960 St Aubins Road



Figure 5.961 Modern example - Price Waterhouse Cooper building - louvres / façade treatment

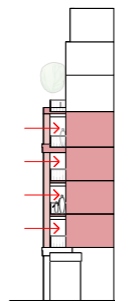


Figure 5.962 Scale of Detail

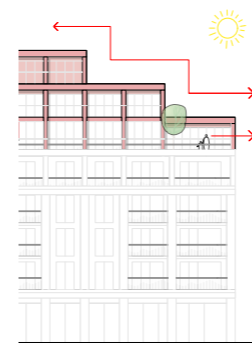


Figure 5.963 Roof shapes and finishes



Figure 5.964 Horizontal/ vertical

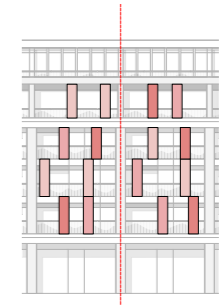


Figure 5.965 Scale of detail



Figure 5.966 Waterfront typology elevation



Figure 5.967 Adjacencies Diagram

5. The Framework

5.7 Approach to Architecture

5.7.1 Design Principles

RELEVANT TYPOLOGIES - SQUARE

ADJACENT CHARACTER AREA DESCRIPTION:

The Square architectural typology links the old town to the new waterfront and addresses the Esplanade and the CA7 character area and has long views through to the waterfront and across to the IFC.

SUMMARY OF CONCLUSIONS:

Analysis of the existing buildings within the old town and along the Esplanade indicates that they typically share the following architectural characteristics:

- An activated ground level with street frontages that add colour, depth and variation
- Considerable variety in the detail and scale of the architectural features on buildings
- A rich mix of architectural typologies and styles

DESIGN PRINCIPLES:

- Guiding design principles for the architecture of the Square typology extracted through analysis of the existing context includes:
 - Frontage proportion - Figure 5.971 illustrates that the building façades should have a varied and characterful mix of architectural approaches to enliven the Square.
 - Buildings to ground - Echoing the façades, buildings here should come to ground in a variety of ways including columns, piers and arches as demonstrated in Figure 5.972.
 - Scale of detail - The buildings should incorporate a variety of architectural elements and details, as shown in Figure 5.973, inspired by the features found on the vernacular buildings of St Helier.
 - Roof shapes and finishes - The roofscape of the buildings should have a mixture of flat amenity space and inhabited pitched roofs to create variation in roof profiles and lower 'dropped eaves' approaches to minimise appreciated height, as shown in Figure 5.974.



Figure 5.968 Frontage proportion at 40 Esplanade, Jersey



Figure 5.969 Jersey Market, Jersey



Figure 5.970 Royal Square, Jersey

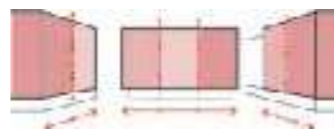


Figure 5.971 Frontage proportion

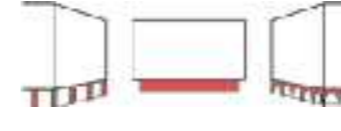


Figure 5.972 Buildings to ground

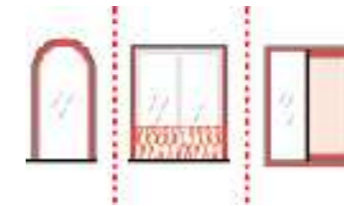


Figure 5.973 Scale of detail



Figure 5.974 Roof shapes and finishes



Figure 5.975 Adjacencies Diagram

5. The Framework

5.7 Approach to Architecture

5.7.1 Design Principles

RELEVANT TYPOLOGIES - NEIGHBOURHOODS

ADJACENT CHARACTER AREA DESCRIPTION:

The Residential typology is part of the emerging new residential development on the St Helier waterfront with long views across La Route de la Libération towards the Esplanade, IFC and CA8 and short views across the Rue de L'etau to the new waterfront development currently under construction.

SUMMARY OF CONCLUSIONS:

Analysis of the existing buildings within the adjacent character areas in particular the waterfront, the IFC and the Esplanade indicates that they typically share the following architectural characteristics:

- A variation in the architectural language between the internal and outward facing façades
- A variety of approaches to balcony design including inset and projecting balconies
- Distinct corner conditions to buildings including added architectural expression and rounded corners

DESIGN PRINCIPLES:

Guiding design principles for the architecture of the Neighbourhoods typology extracted through analysis of the existing context includes:

- Scale of detail - The buildings should incorporate a variety of architectural elements and details, as shown in Figure 5.980, inspired by the historic and contemporary features found on the buildings of St Helier.
- Horizontal/vertical - The vertical subdivision of long façades to create variations in scale, colour and detail should be undertaken as shown in Figure 5.981.
- Roof shapes and finishes - The roofscape of the buildings should have a mixture of flat amenity space and inhabited pitched or mansard roofs to create a variation in overall roof profile as shown in Figure 5.982.
- Buildings to ground: The residential use should come to ground where appropriate to animate and passively secure the streetscape and community spaces as shown in Figure 5.983.



Figure 5.976 Horizon Development, Jersey



Figure 5.977 Castle Quay Development, Jersey



Figure 5.978 Wesley Street, Jersey



Figure 5.979 Modern example - Berlin

ADJACENCIES

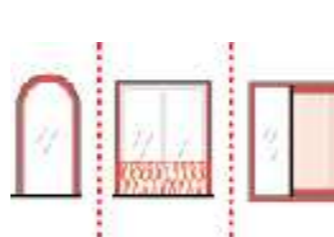


Figure 5.980 Scale of detail

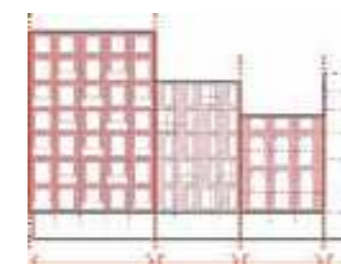


Figure 5.981 Horizontal/vertical

LOCAL and INTERNATIONAL INSPIRATION

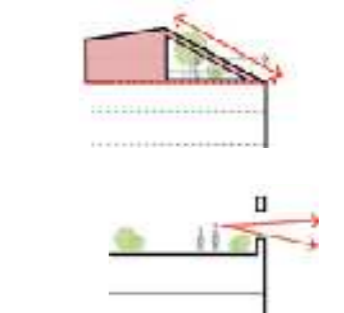


Figure 5.982 Roof shapes and finishes

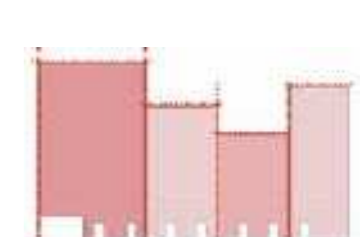


Figure 5.983 Buildings to ground



Figure 5.984 Adjacencies Diagram

5. The Framework

5.7 Approach to Architecture

5.7.1 Design Principles

RELEVANT TYPOLOGIES - COMMERCIAL QUARTER AND APEX BUILDING

ADJACENT CHARACTER AREA DESCRIPTION:

The Commercial Quarter and Apex Building typologies are adjacent to Esplanade, CA7, IFC and CA8 in a prominent location between the Esplanade and the La Route de la Libération. They have long views towards Fort Regent, Old Harbour, Elizabeth Marina and the sea front.

SUMMARY OF CONCLUSIONS:

Analysis of the existing buildings within the adjacent character areas in particular the IFC and the Esplanade indicates that they typically share the following architectural characteristics:

- Modern contemporary commercial design with a bold, ordered architectural approach
- The expression of the planning grid and structural frame within the façade 360 degree consistent façade treatments
- An activated ground plane and High quality public realm with variety and depth in the street frontages.
- Consistent façade treatment to all faces of the buildings creating a 360 degree façade 'wrap'.

DESIGN PRINCIPLES:

Guiding design principles for the architecture of the Commercial Quarter and Apex Building typology extracted through analysis of the existing context includes:

ALL:

- Scale of detail - Figure 5.989 shows how shading elements should be incorporated into the face design to provide passive solar control where required and to also add depth, texture and detail to the building envelope.
- Activity and street interface - There should be an active ground floor frontage with set backs and colonnades to the façade design to create a variety within the public realm as shown in Figure 5.990.
- Frontage proportion - The façades should express the structural frame shown in Figure 5.991, and reflect the commercial planning grid so the internal layout is coordinated with the external façade.
- Figure 5.992 Horizontal/vertical: Additional façade elements should be incorporated as a rational hierarchy of elements within the planning grid and arranged to provide a vertical emphasis.

APEX BUILDING:

- Dynamic plan form generated from the shape of the site, expressed three-dimensionally as a more understated, subtractive corner when approaching
- Contemporary stepped architectural form, making best use of aspect
- Steel trussed elevations to duplex homes and on special corners, referencing maritime industrial heritage of the nearby historic harbours
- Introduction of green, biodiverse roof and podium and balconies
- Generous circulation spaces that can store bicycles or become social chance meeting places
- Emphasis on the use of recycled materials and salvage for the façades, reinforcing ideas around memory and local identity
- Subtle integration of work by local artists, integrated into the façades as part of the public art contribution and enriching the contextual narrative of the architecture.



Figure 5.985 IFC 2, Jersey



Figure 5.986 Price Waterhouse Cooper Building



Figure 5.987 Ed Le Quesne House



Figure 5.988 44 Esplanade - framed elevation

ADJACENCIES LOCAL and INTERNATIONAL INSPIRATION

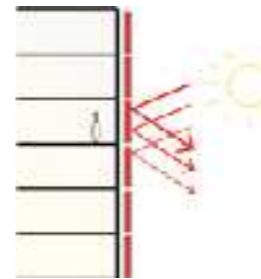


Figure 5.989 Scale of detail

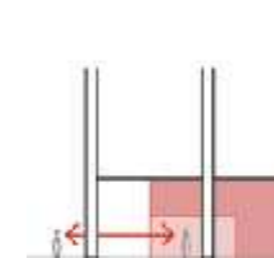


Figure 5.990 Activity and street interface

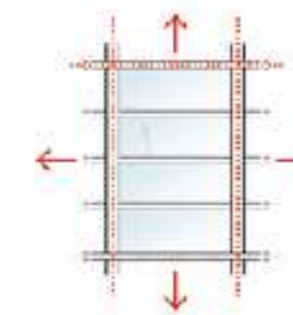


Figure 5.991 Frontage proportion



Figure 5.992 Horizontal/vertical



Figure 5.993 Adjacencies Diagram

5. The Framework

5.7 Approach to Architecture

5.7.1 Design Principles

RELEVANT TYPOLOGIES - LEISURE QUARTER

ADJACENT CHARACTER AREA DESCRIPTION:

The Leisure Quarter typology is in a prominent gateway location and is adjacent to CA5, CA8 and IFC with the leisure elements overlooking the Castle Street and the proposed residential component forming a key elevation onto the Marina Gardens. It has long views towards Fort Regent and the Old Harbour and short views across the Marina Gardens to the emerging waterfront residential developments.

SUMMARY OF CONCLUSIONS:

Analysis of the existing buildings within the adjacent character areas in particular CA5, CA8 and the IFC indicates that they typically share the following architectural characteristics:

- A variety in the scale of the development and bold use of colour and texture
- Distinct corner conditions to buildings including added architectural expression and rounded corners
- An activated ground plane with variety and depth in the street frontages through the incorporation of colonnades and setbacks within the building design

DESIGN PRINCIPLES:

Guiding design principles for the architecture of the Leisure Quarter typology extracted through analysis of the existing context includes:

- Activity and street interface - The building should have an active street frontage and act as a selective showcase for the leisure activity within as shown in Figure 5.998.
- Frontage proportion - The building should step down to the Marina Gardens, as shown in Figure 5.999 and should also avoid a long continuous façade without any vertical expression.
- Roof shapes and finishes - Introduction of roof top amenity space for residential private communal use should be considered, as the leisure uses are likely to require/create a large span roof structure(s) which will create knock-on opportunities at roof for these amenity spaces, as shown in Figure 5.1000.
- Key façades - Figure 5.1001 illustrates the building should have a prominent corner and architectural expression at the Castle Street junction.



Figure 5.994 IFC 5, Jersey



Figure 5.995 Victoria and Albert Place Development



Figure 5.996 Fort Regent, Jersey



Figure 5.997 Modern example - Everyman Cinema, Liverpool

ADJACENCIES



Figure 5.998 Activity and street interface

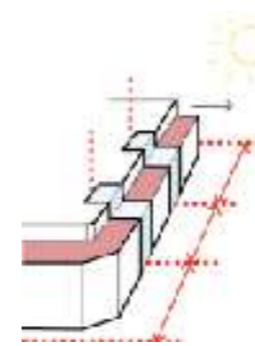


Figure 5.999 Frontage proportion

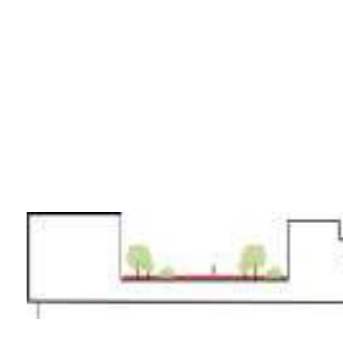


Figure 5.1000 Roof shapes and finishes

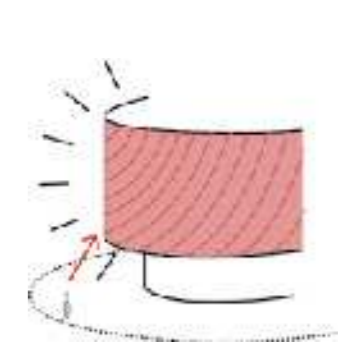


Figure 5.1001 Key façades



Figure 5.1002 Adjacencies Diagram

5. The Framework

5.7 Approach to Architecture

5.7.2 Responding to the SPG Guidance

APPLYING THE CHARACTER AREA GUIDELINES

The SPG Advice Note – Design Guidance for St. Helier 2013 set out specific guidance for each of the ten St Helier character areas. The assessment criteria comprised of twelve building characteristics which were distinct, definable and able to be applied as guiding principles.

The SWSH Visioning Framework has assessed the emerging architectural typologies against the relevant criteria taking into account the local adjacencies and relevant Jersey and International precedents to extract guiding design principles for the architecture.

To demonstrate how the guidance is applied across SWSH Visioning Framework a series of macro diagrams have been prepared that provide visual guidance on their application.

Out of the fifteen design principles established for the Framework, ten have been selected.

CHARACTER AREA DIAGRAMS

BASE BLOCK MASSING

The block massing is the starting point for illustrating the fifteen design principles and their application at a macro scale across the SWSH Visioning Framework development. Figure 5.1003 illustrates an aerial view of the plot massing of the building plots.

DIVERSITY / HOMOGENEITY

The SWSH Visioning Framework contains a series of distinct areas with their own architectural typologies respond to the architectural themes of the St Helier character areas create a rich and diverse series of experiences. Figure 5.1004 shows the massing with the mix of typologies highlighted in different colours.

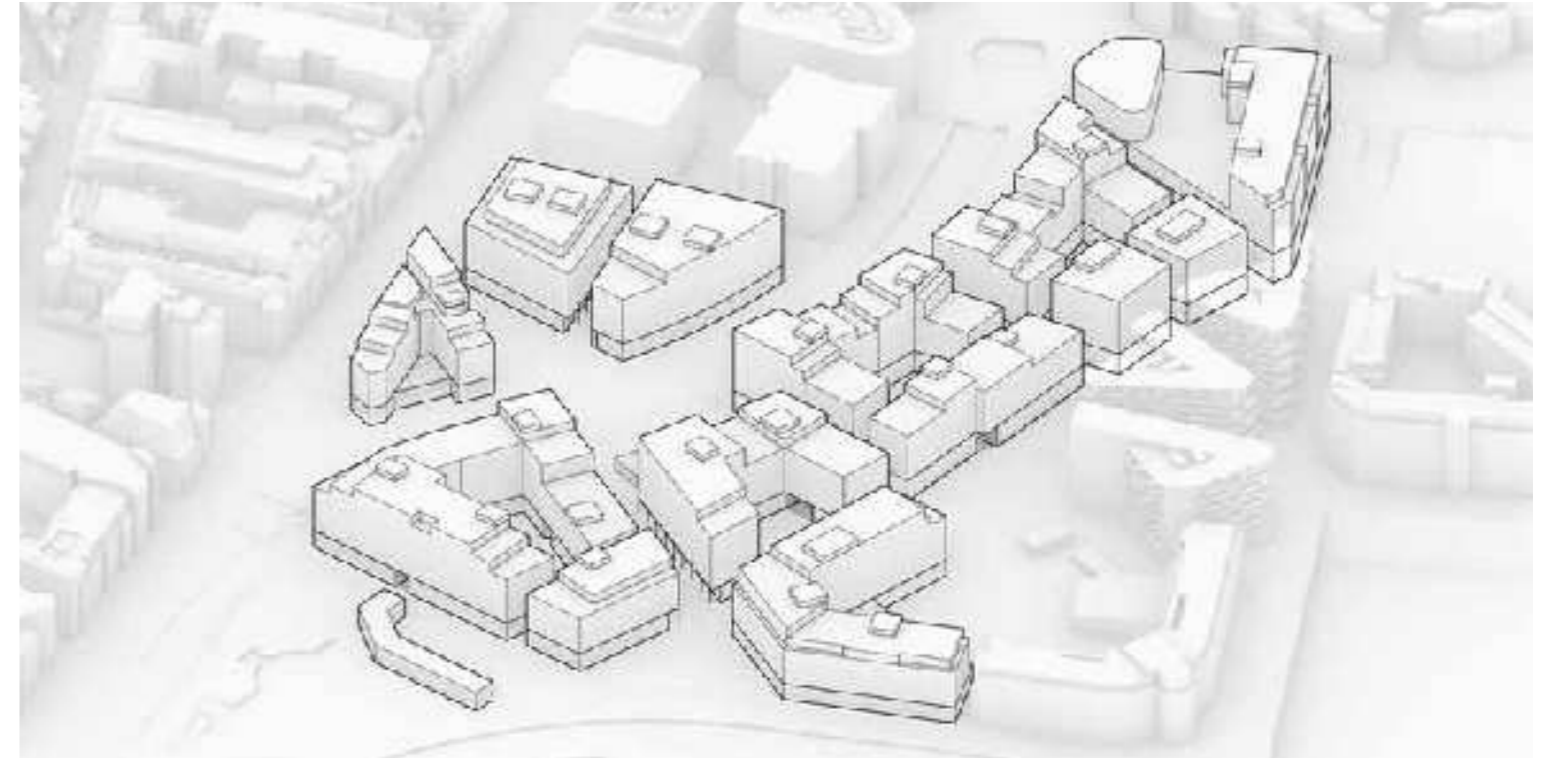


Figure 5.1003 Overall massing

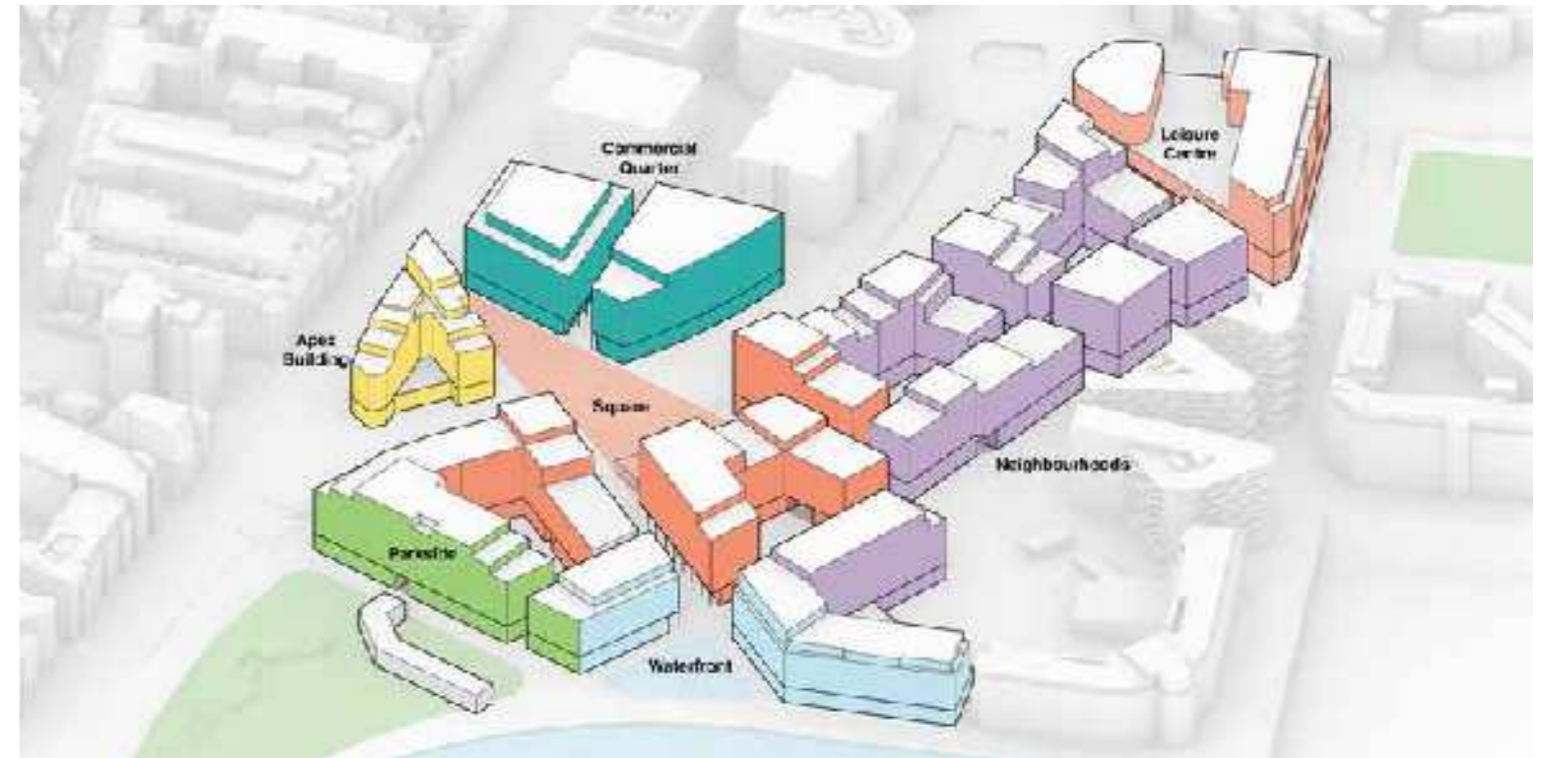


Figure 5.1004 Architectural typologies zoning

5. The Framework

5.7 Approach to Architecture

5.7.2 Responding to the SPG Guidance

HORIZONTAL / VERTICAL

Most of the urban townscape of St Helier is characterised by buildings with a distinctively vertical emphasis but the overriding design principal is a horizontal parti of top, middle and bottom within the architectural expression.

This is a key design principle adopted by the SWSH Visioning Framework. Figure 5.1007 is coloured to indicate the principle of a distinct top, middle and bottom horizontal parti across the development. The exception to this rule is the Leisure Quarter Castle Street junction corner building which is a distinct architectural feature



Figure 5.1005 Typical Jersey proportional bands

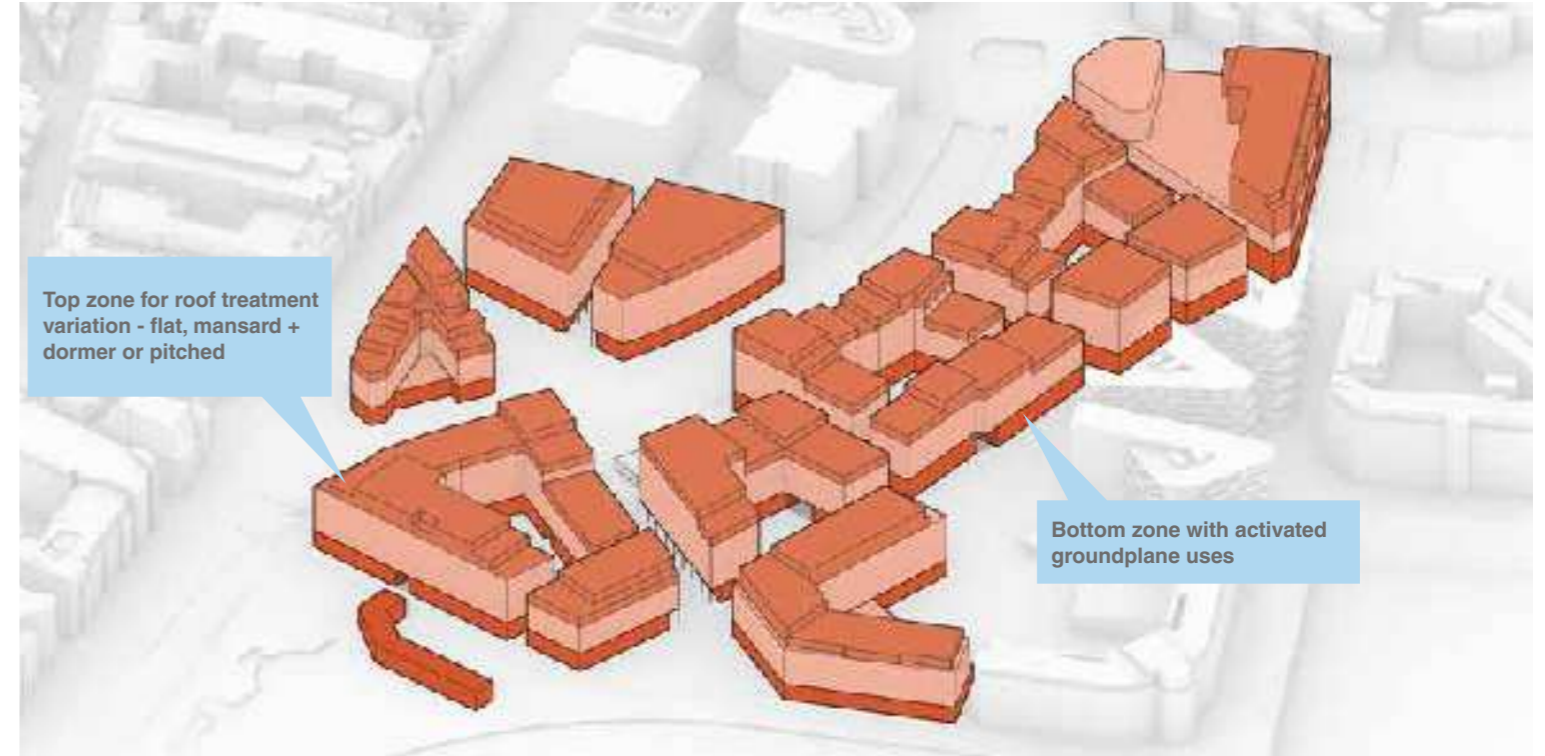


Figure 5.1007 Horizontal / Vertical - Top, Middle and Bottom diagram

KEY FAÇADES

There are a number of prominent elevations to the proposed SWSH Visioning Framework development. These form gateways, markers and edges to the major public spaces within the framework and are essential to stitching the new development into the existing urban environment.

Figure 5.1008 shows the key façades within the development indicated in red.

In addition, there are important façades that address major street frontages such as the Esplanade, La Route de la Libération and Rue de L'etau and their design should each be approached as part of their relevant typology.



Figure 5.1006 Key façades

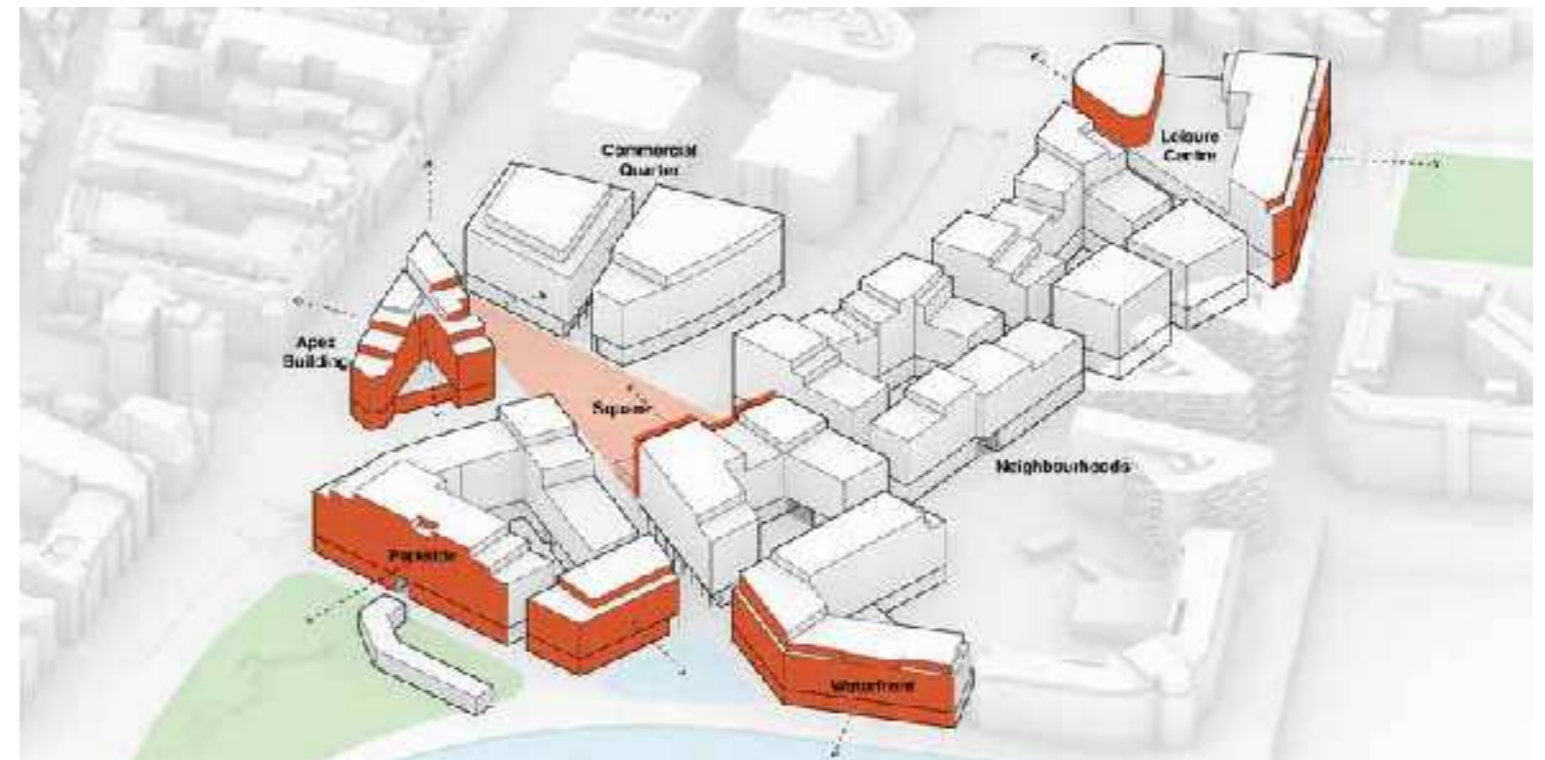


Figure 5.1008 Key façades diagram

5. The Framework

5.7 Approach to Architecture

5.7.2 Responding to the SPG Guidance

ACTIVITY AND STREET INTERFACE

There is a variety of activities on the ground floor of the development to create a rich and dynamic street level experience including which includes Food and Beverage, Retail, Leisure, Arts, Culture and Community, Social Infrastructure and Office uses.

This provides the opportunity to create a distinctive ground floor architecture within and between character areas ensuring the street interface and pedestrian experience changes as you move through the lanes, arcades and colonnades. Figure 5.1011 shows the overall development with the plot massing removed to show the variety of uses at ground level highlighted in colour.

Chapter 5.7 Framework Concept provides detailed information ground floor use mix.

FRONTAGE PROPORTION

There is a distinct grain and vertical emphasis to the urban townscape of St Helier. Similar to St Helier town, parcels and resultant plot sizes of the Framework are long. The frontage proportions of each character area needs to therefore reflect the proportions on urban façade grain and subdivision of the adjacent St Helier character areas.

The frontage proportions of each character area need to reflect the proportions and urban grain of the adjacent character areas. Figure 5.1012 illustrates that there are a number of long façades to the building plots that need vertical subdivision.



Figure 5.1009 Typical base activated 'plinth'

Legend

- Leisure and cultural facilities
- Retail, F&B and community facilities



Figure 5.1010 Typical façade subdivisions along the Parade

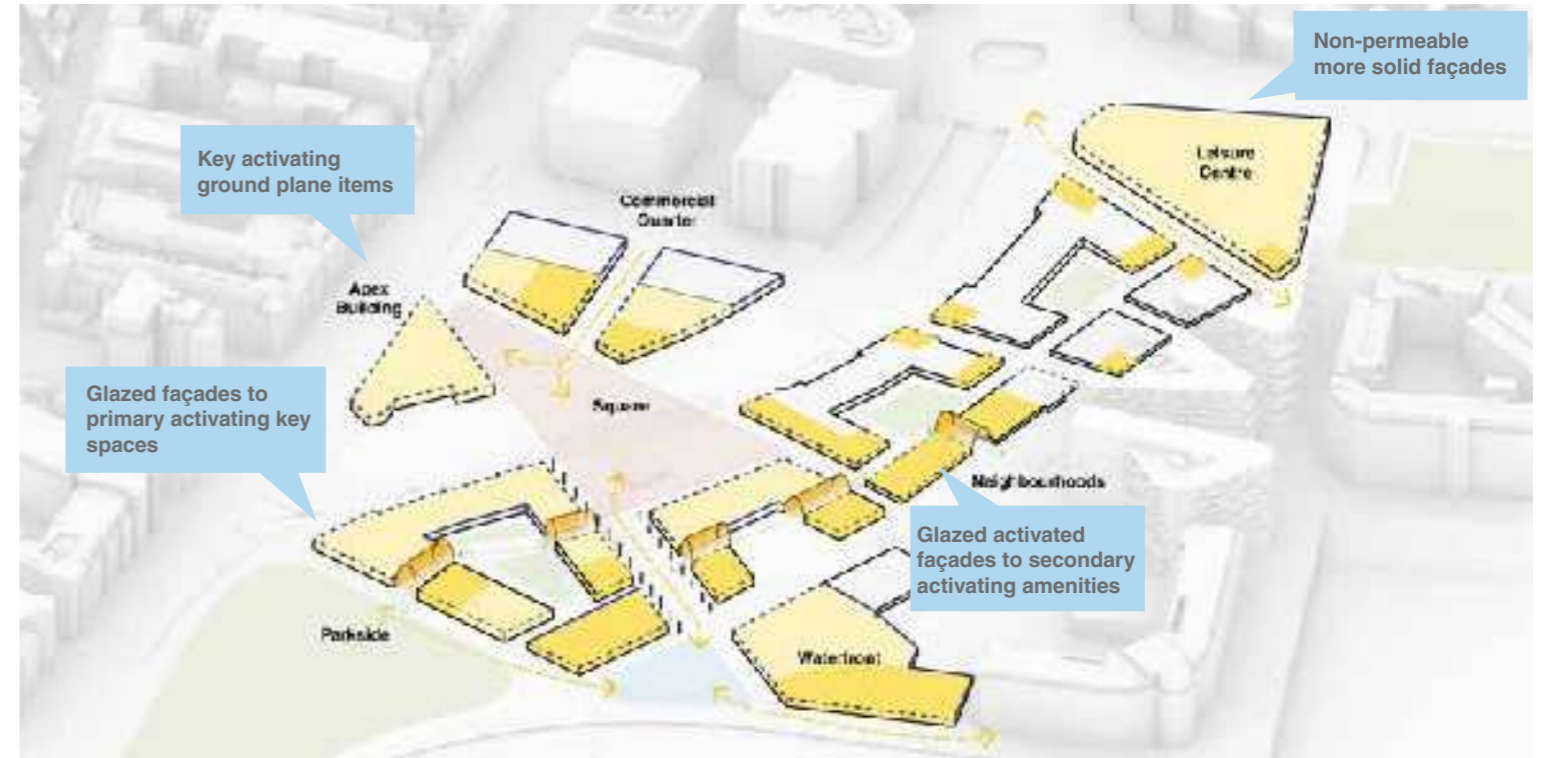


Figure 5.1011 Activity and Street Interface diagram

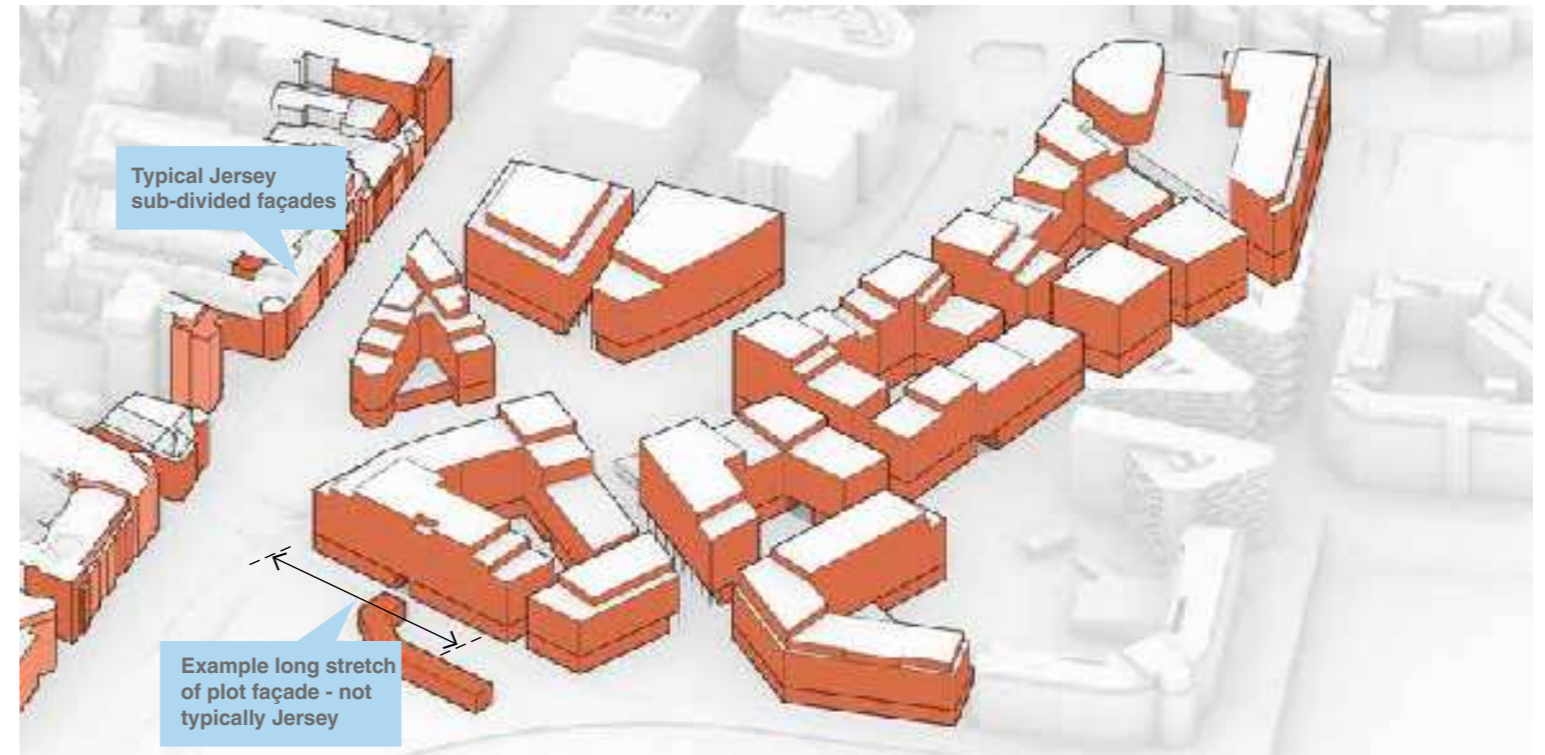


Figure 5.1012 Frontage proportion and active façades

5. The Framework

5.7 Approach to Architecture

5.7.2 Responding to the SPG Guidance

FRONTAGE PROPORTION – PARKSIDE

The Parkside typology is adjacent to the existing St Helier Esplanade which has a variety of heritage and modern development on plot sizes that reflect its original commercial waterfront location.

The Parkside frontage proportion and grain needs to respond to this adjacent urban character through clear horizontal expression and vertical subdivision as illustrated in Figure 5.1015.



Figure 5.1013 Adjacent runs of broken down façades along the Esplanade

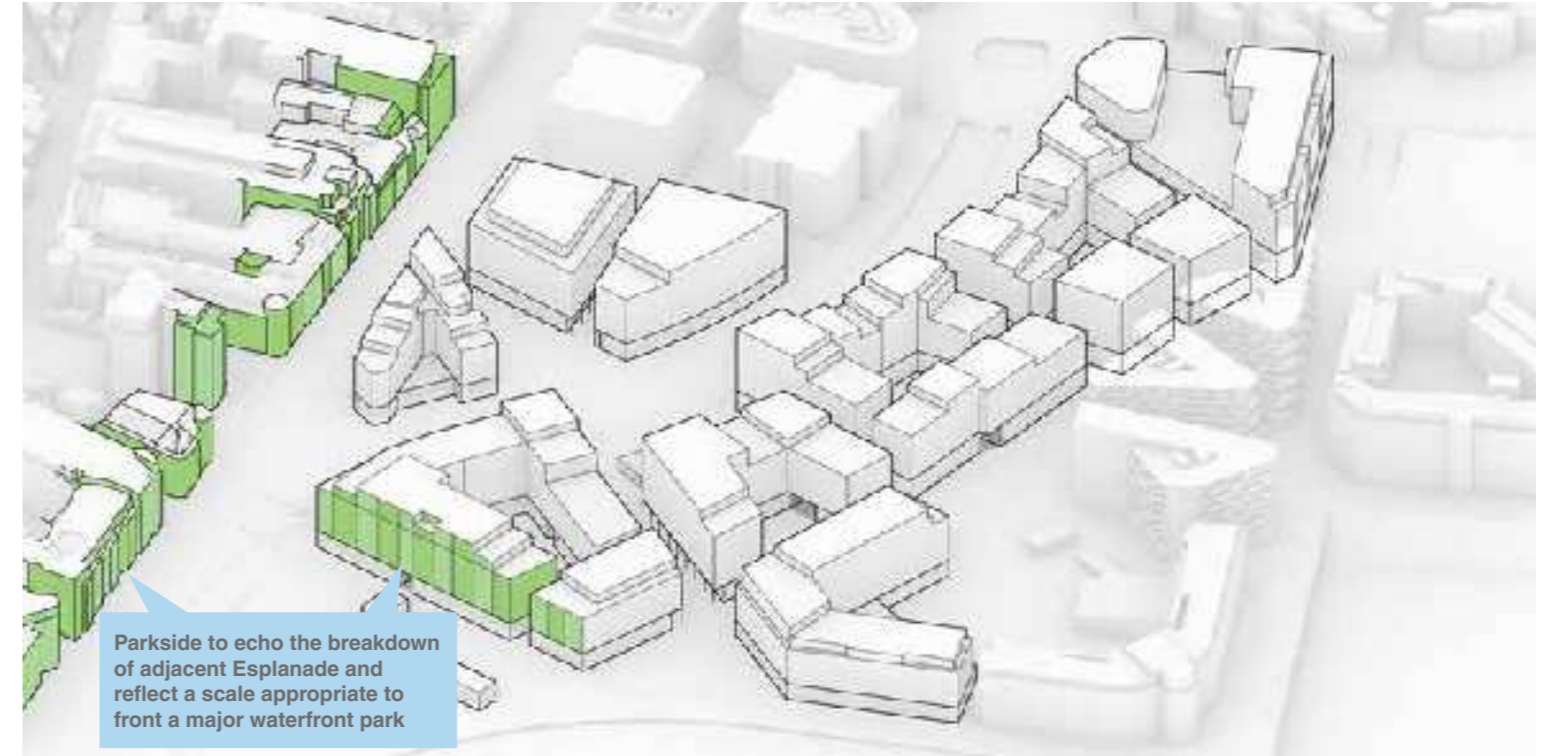


Figure 5.1015 Parkside frontage proportion diagram

FRONTAGE PROPORTION – WATERFRONT

The Waterfront typology will form one of the first major impressions for visitors to St Helier and is within the first phase of works and unveiling of new architecture from the Framework. The adjacent existing waterfront architecture around the Elizabeth Marina has little relation to the scale and grain of the existing town.

The frontage proportion of the Waterfront character area needs to relate to the scale and grain of the Esplanade and be seen as a continuation of the new Parkside frontage proportion rather than the larger blocks of the earlier waterfront development area. Figure 5.1016 illustrates that the long Waterfront elevations will require vertical subdivision so that they relate in scale and grain to the existing architecture of St Helier.



Figure 5.1014 Adjacent longer horizontal elements of Castle Quay and Harbour Reach developments

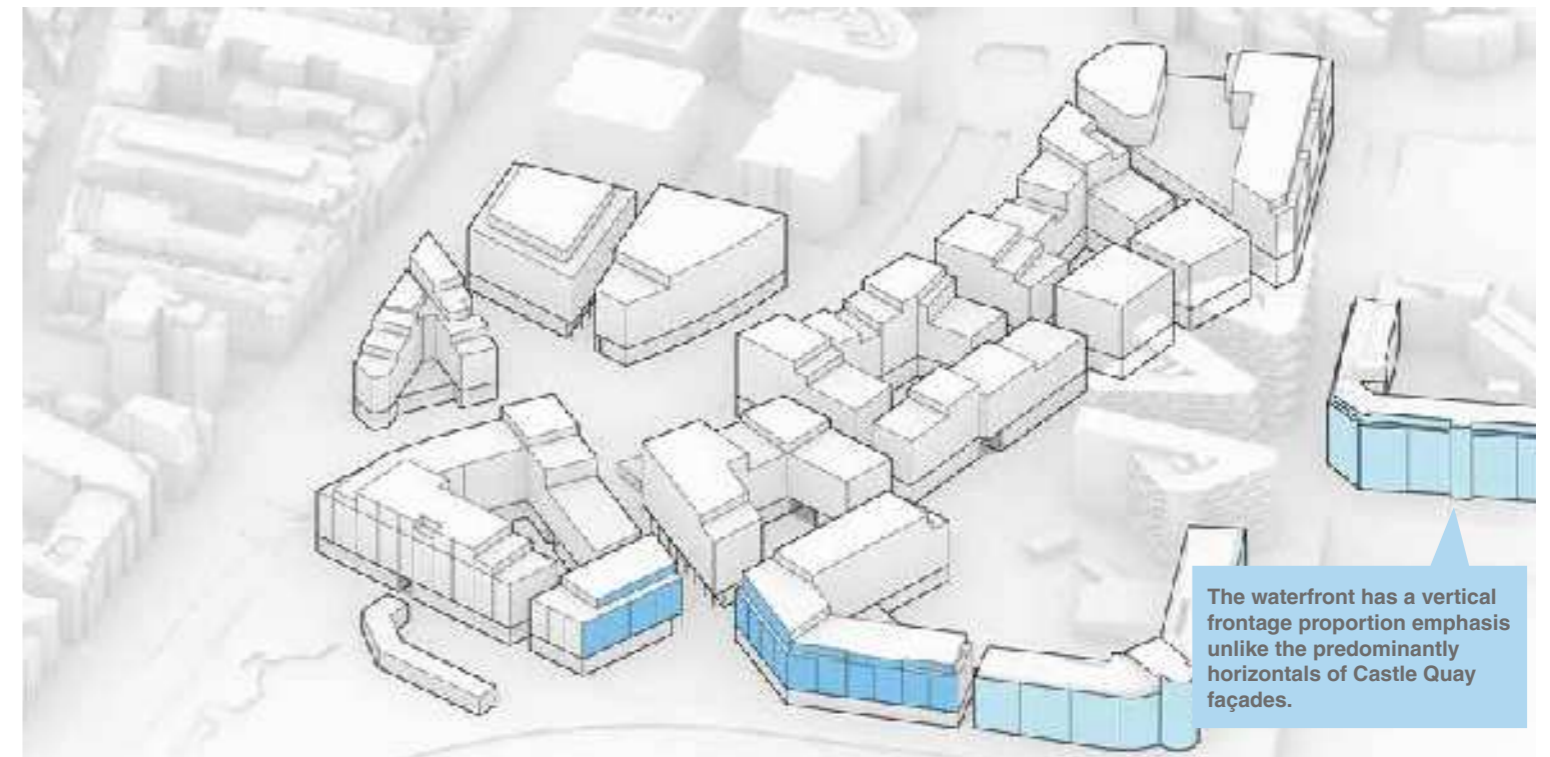


Figure 5.1016 Waterfront frontage proportion diagram

5. The Framework

5.7 Approach to Architecture

5.7.2 Responding to the SPG Guidance

FRONTAGE PROPORTION – NEIGHBOURHOODS AND SQUARE

The Neighbourhoods and Square typologies will form consistent built street edge to La Route de la Libération and their frontage proportions need to reflect the scale of the mix of modern and historic commercial development that now forms the urban grain of the Esplanade opposite.

Figure 5.1019 is a reverse view of the block massing with the vertical subdivision of the typology areas highlighted in colour to reflect the scale and mix of the existing development opposite.



Figure 5.1017 Typical Jersey vertical façade division through treatments, and arrangements along the Esplanade



Figure 5.1019 Neighbourhoods and Square frontage proportion diagram

FRONTAGE PROPORTION – LEISURE RESIDENTIAL

The long southern residential façade of the Leisure Residential has a frontage proportion reflecting the scale and rhythm of the existing contemporary Castle Quay that forms the immediate adjacent edge to the Marina Gardens. The vertical elements of the existing development are replicated as breaks within the massing and grain of the proposed Leisure Residential frontage as indicated in Figure 5.1020 opposite.



Figure 5.1018 Adjacent broken down façades of Castle Quay

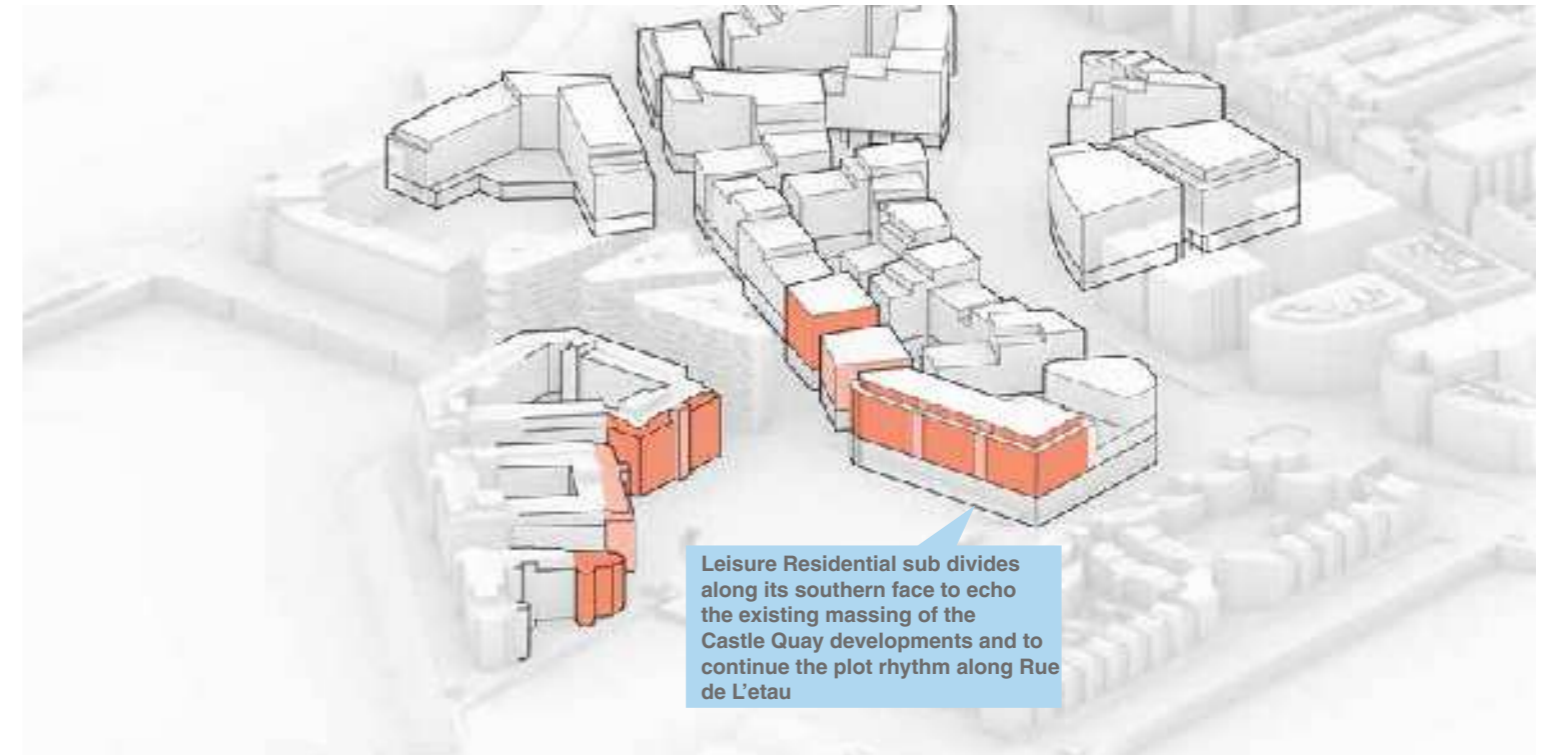


Figure 5.1020 Leisure frontage proportion diagram

5. The Framework

5.7 Approach to Architecture

5.7.2 Responding to the SPG Guidance

FRONTAGE PROPORTION – APEX BUILDING AND COMMERCIAL QUARTER

The frontage proportion of the proposed Commercial typology replicates the 360 degree façades of the existing and future proposed IFC development that has a consistent wrap of high quality commercial architecture.

The Apex building is however unique and stand alone in a strategic location between the Esplanade, IFC, La Route de la Libération and the public squares. Unlike the large floorplates typical of the IFC commercial development the Apex building will have a dynamic form generated from the shape of the site and expressed three-dimensionally as a more understated, subtractive corner when approaching town. Figure 5.1023 indicates the 360 degree façades of the Commercial Quarter that contrasts with the proposed vertical subdivision of the façade to the Apex building.



Figure 5.1021 Adjacent IFC blocks - Self contained architectural masses



Figure 5.1022 The Apex building should aim for an international level of quality residential

FRONTAGE PROPORTION - COMBINED

The combined frontage proportion diagram indicates how the large plot sizes of the proposed SWSH Visioning Framework can be articulated to blend in with the grain and proportions of the existing St Helier urban environment.

Figure 5.1024 shows the overall vertical grain of the development when the plots are vertically subdivided

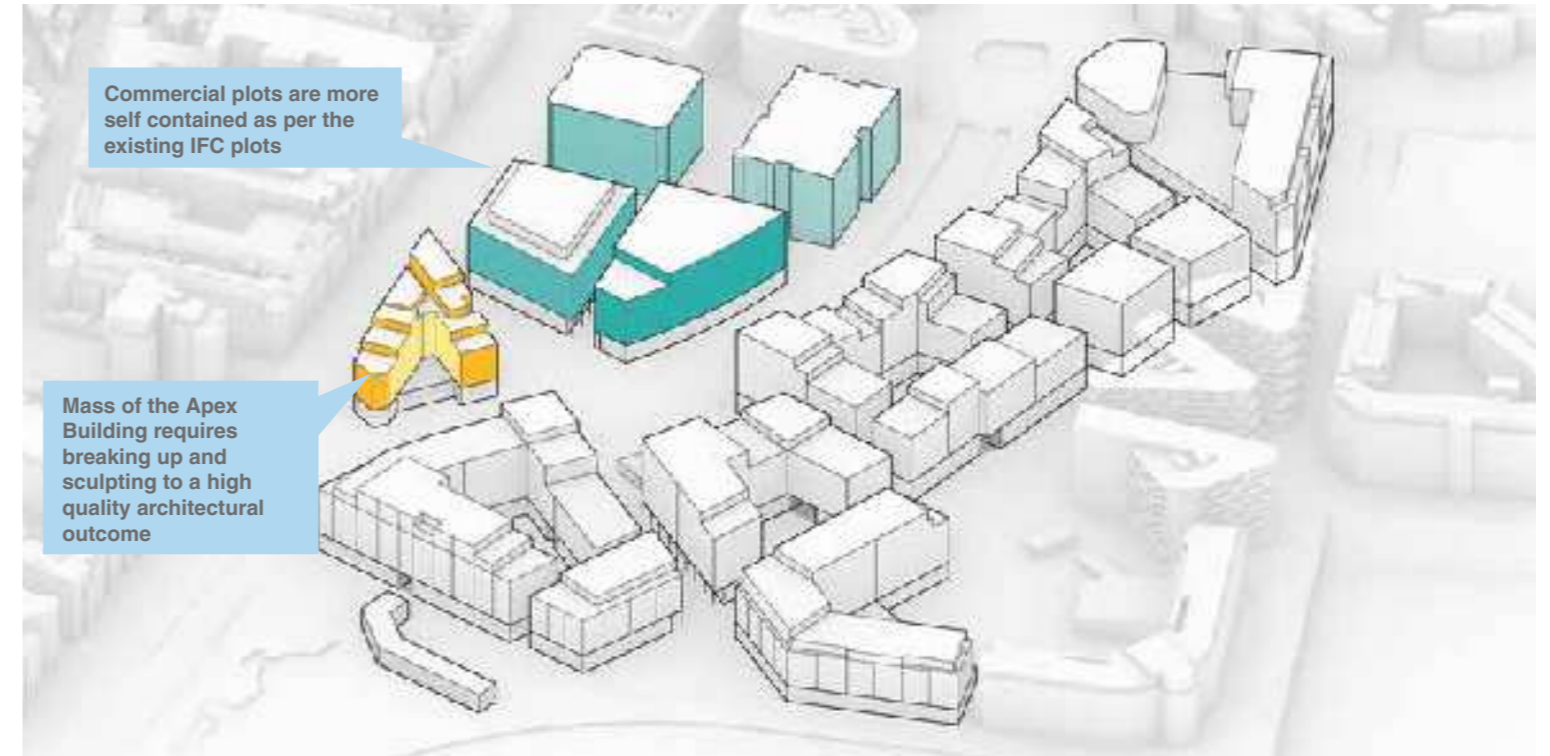


Figure 5.1023 Commercial frontage proportion diagram

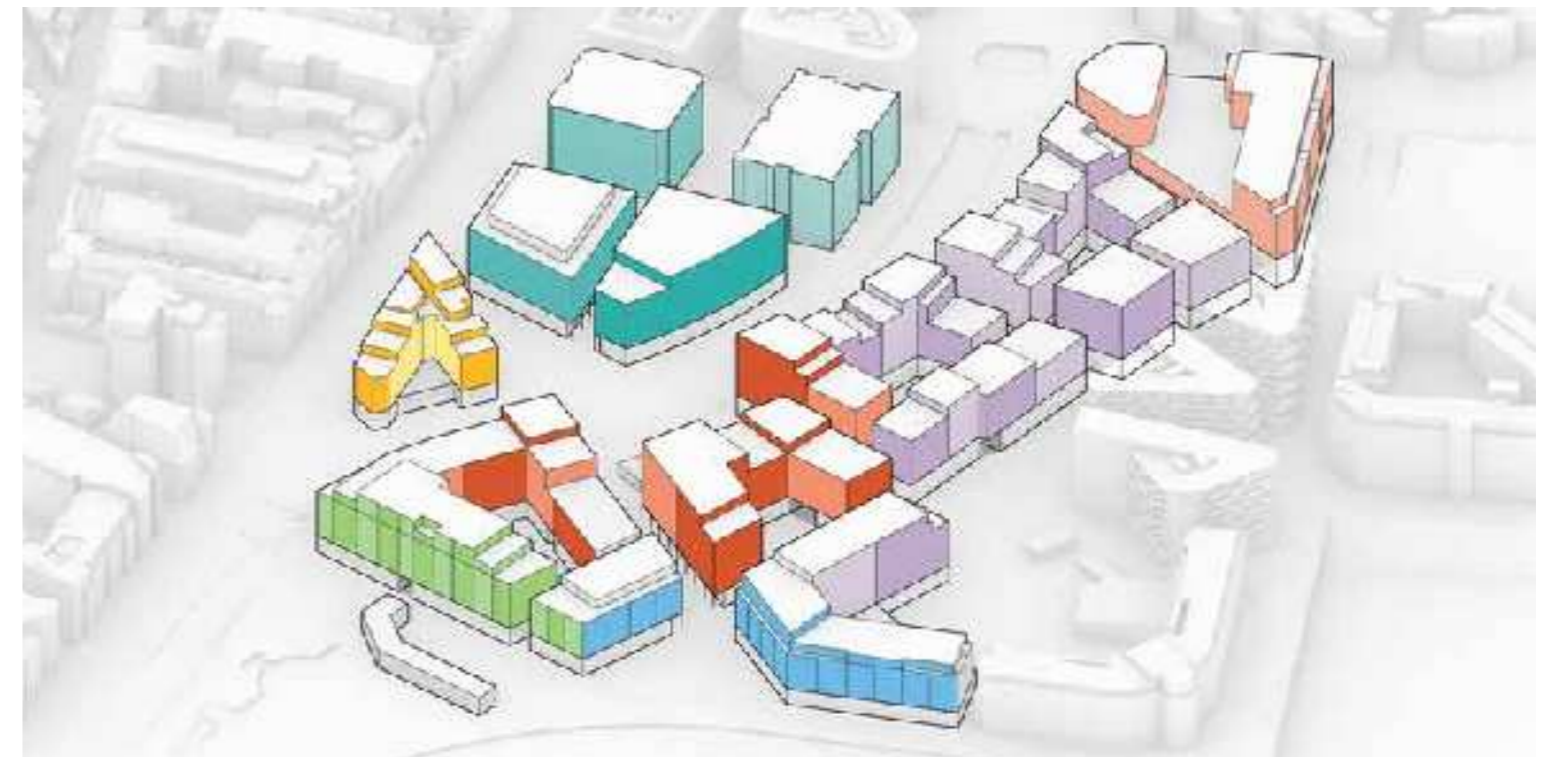


Figure 5.1024 SWSH Visioning Framework frontage proportion and variation diagram

5. The Framework

5.7 Approach to Architecture

5.7.2 Responding to the SPG Guidance

BUILDING LINE

The building line that defines the edges and scale of a street is typically consistent and uninterrupted for the majority of St Helier's urban development. This is replicated within the SWSH Visioning Framework with subtle articulations to avoid long lengths of unbroken flat façade.

Figure 5.1027 indicates in contrasting colours how subtle articulation of the building line can be achieved within the vertical subdivision.



Figure 5.1025 Façades treatment typically turn the corner to remain consistent

Legend

- Major massing move
- Nominal within façade expression

FLANKS

The ends of buildings within the SWSH Visioning Framework are often important terminations to vistas, gateways or markers within the urban realm. Blank flank walls are therefore avoided with elevation treatments wrapped around the corners to create consistent elevations on the shorter return façades as indicated in Figure 5.1028 opposite.



Figure 5.1026 Building turning the corner in central St Helier, Broad st.



Figure 5.1027 Dynamic building line to help define an animated streetscape along both La Route de la Libération (as shown facing) and the Rue de L'etau (behind opposite)

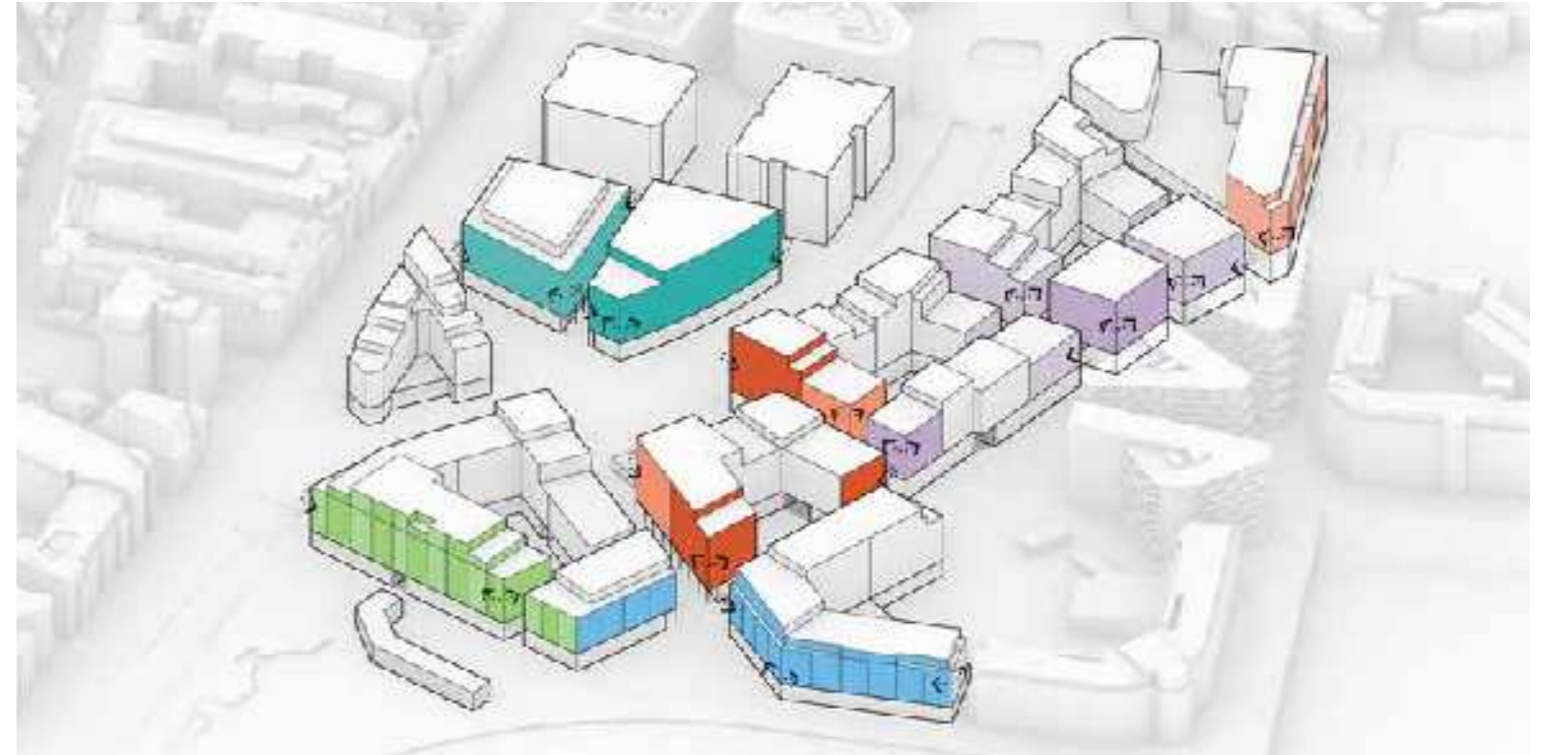


Figure 5.1028 Corner presence

5. The Framework

5.7 Approach to Architecture

5.7.2 Responding to the SPG Guidance

TURNS THE CORNER

There is an opportunity to emphasise the corners of some of the residential buildings within the SWSH Visioning Framework development. This will create visual markers and increase legibility within the scheme by referencing the familiar architecture of St Helier as highlighted in Figure 5.1031 opposite.



Figure 5.1029 Opening up corner condition allowing views through and less severe corner conditions

HARD AND SOFT - INWARDS AND OUTWARDS FACING FAÇADES

The inner courtyards to the residential neighbourhoods form a series of informal, human scale experiences along the lanes characterised by a finer grain to the architectural detailing and use of materials.

This is in contrast to the more robust, formal elevation treatments to the elevations that form the edges to major streets and routes.

Figure 5.1032 uses contrasting colour to indicate the outward facing more formal façades and the inward facing informal elevations



Figure 5.1030 Example of opened corner balcony treatment

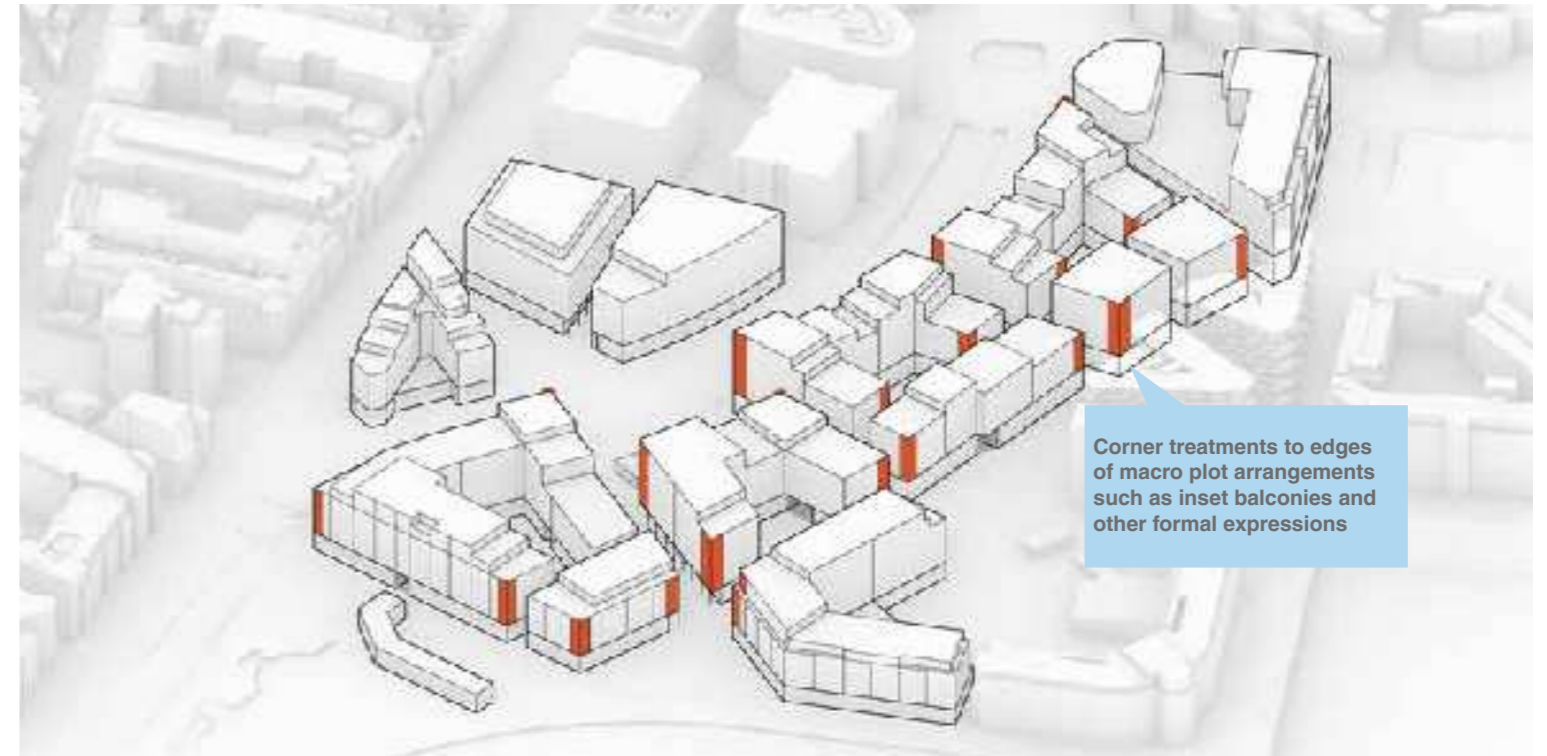


Figure 5.1031 Corner treatment

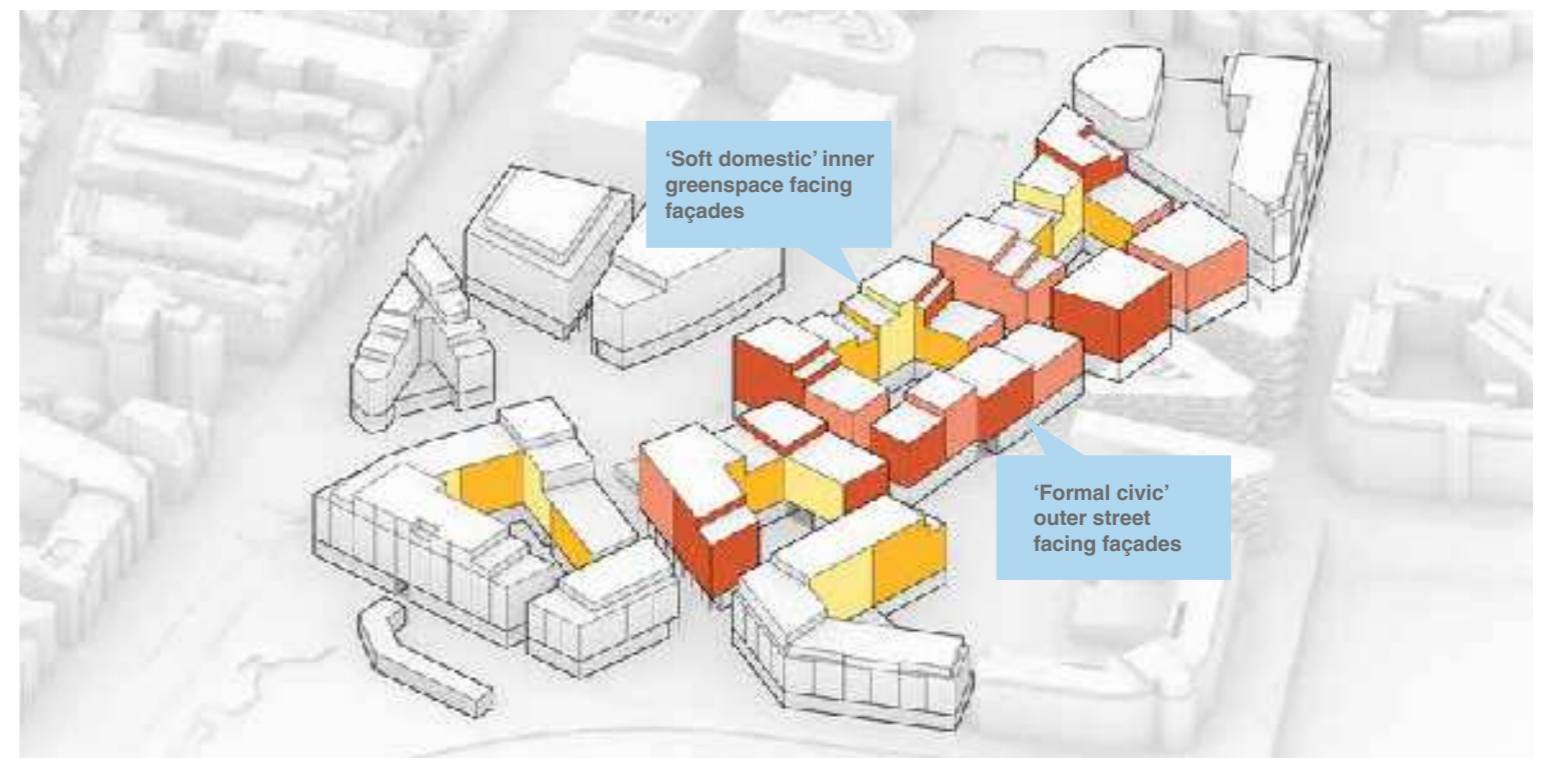


Figure 5.1032 Softening the residential neighbourhood façades

5. The Framework

5.7 Approach to Architecture

5.7.2 Responding to the SPG Guidance

ROOF SHAPES AND FINISHES – ACTIVATED ROOFSCAPES

A variety of roof treatments is encouraged to create diversity in the roofline silhouette. The roof form can step down or be set back at key locations to reduce the impact of mass and height. Contemporary interpretations of the more traditional roof forms such as mansard roofs and dormer windows that are characteristic of much of the French influenced architecture within the town are applicable.

Figure 5.1036 indicates the key roof areas within the building plots that can be designed to incorporate different roof forms and profiles

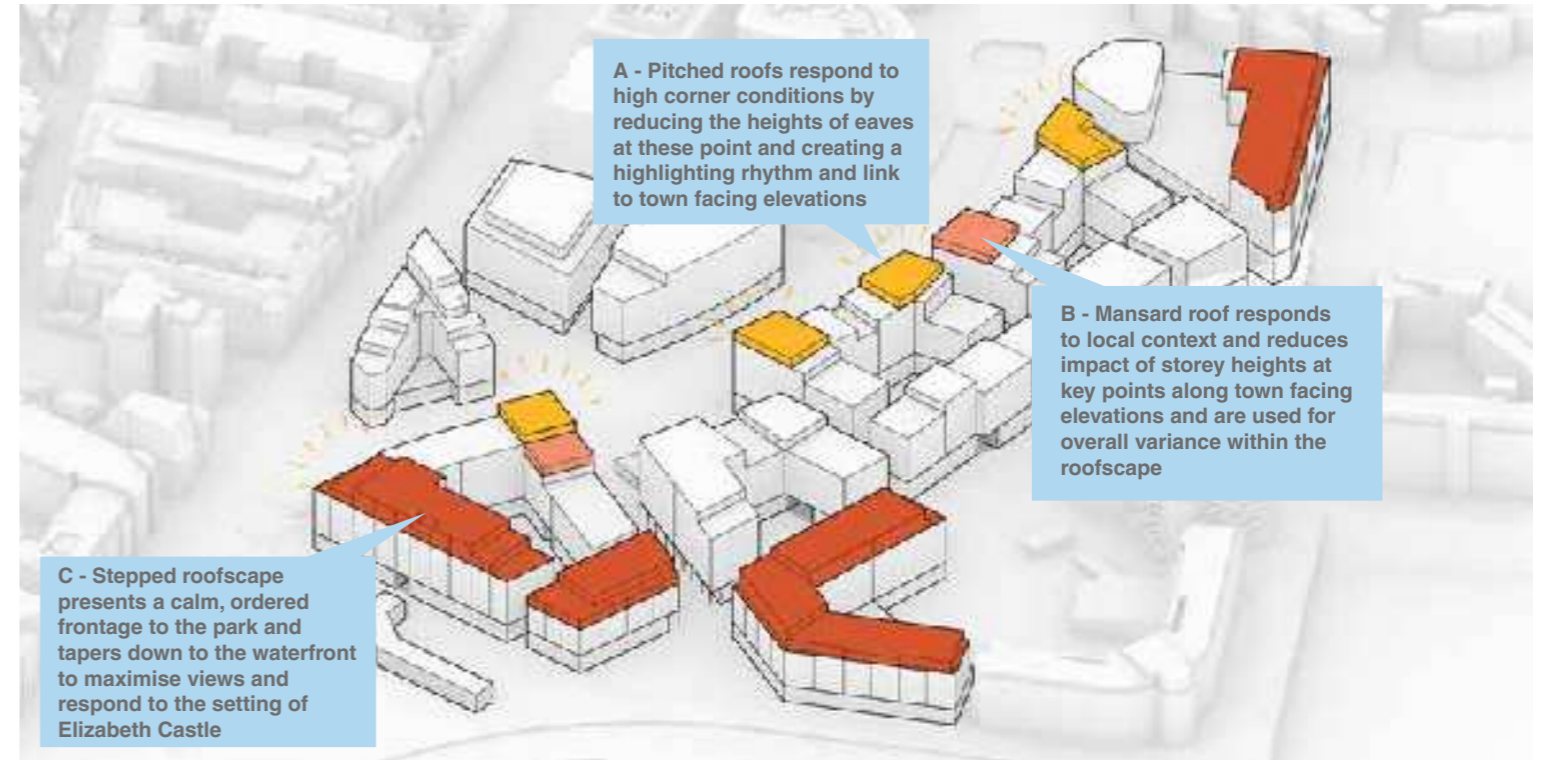
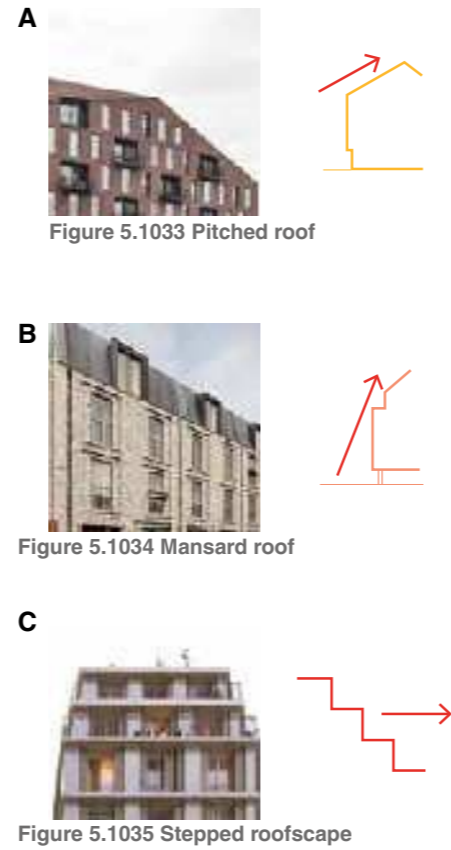


Figure 5.1036 Roof shapes and finishes - Activated roofscapes

ROOF SHAPES AND FINISHES – FLAT ROOFTOPS

The proposed Framework roofscape provides a significant opportunity to include private and communal residential amenity space. There is also opportunity for commercial and office amenity space on G1, G2 and G3 plots.

The Framework exemplifies climate resilience and the healing of biodiversity in Jersey. All inaccessible spaces not required for plant and functional use will be a mixed mosaic of biodiverse roof planting and habitats. Renewable low carbon technologies such as PV's are also considered for these spaces.

The varied roofscape breaks down the homogeneity of the roof plane and provides a benefit to mitigate any townscape views down onto the development outside of the Framework. Figure 5.1037 indicates where amenity space could be provided at roof level.

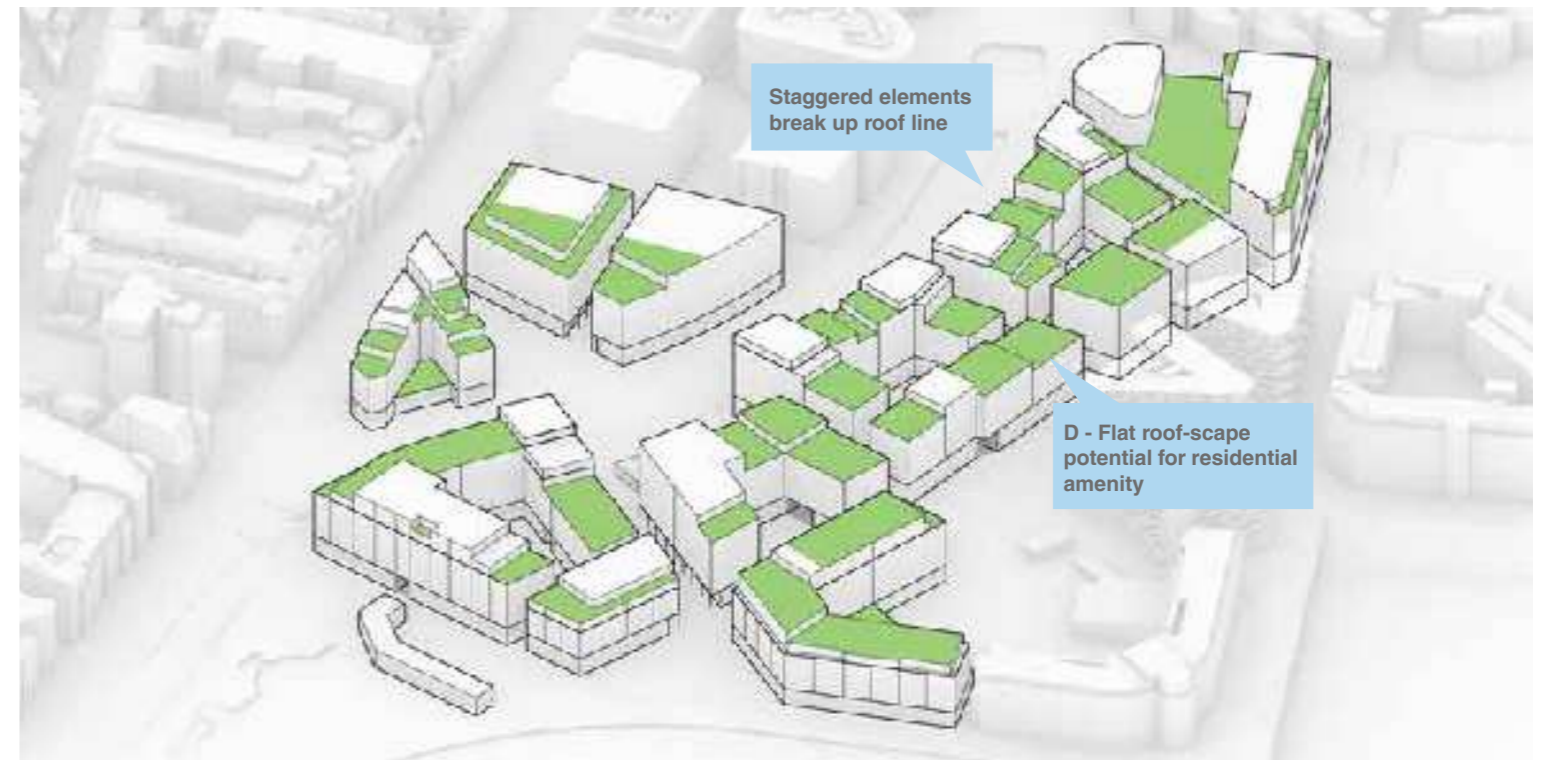


Figure 5.1037 Roof shape and finishes - Flat accessible rooftops

5. The Framework

5.7 Approach to Architecture

5.7.2 Responding to the SPG Guidance

DEVELOPING A NEW CONTEMPORARY ARCHITECTURE FOR ST HELIER'S WATERFRONT

The urban analysis of the historic character areas adjacent to the SWSH Visioning Framework development identified distinct motifs from some of the predominant historic architectural styles which have been interpreted to create a new overall contemporary architectural vocabulary for the waterfront.

Distinct St Helier motifs identified are:

- Georgian and Regency punched window rhythms and repetitions - vertical and horizontal
- Victorian arch detail
- Distinct horizontal banding of pediment, upper storeys and roof
- Special/expressed corners
- Pitched, mansard and dormer roof expressions

However, the SWSH Visioning Framework proposal will not simply repeat these items verbatim but reinterprets them within a fresh contemporary overall approach that is in keeping with both the overall current nature of the development itself as well as its recent contemporary neighbours.

This approach is in line with the suggested overall direction for large scale new developments outlined in the WMUD Urban Character Appraisal:

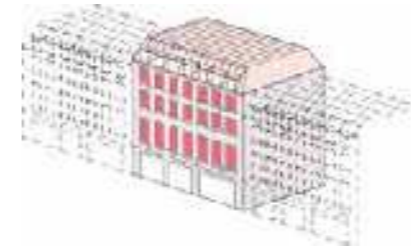
'Where new development is taking place in a conspicuously coordinated area, new buildings must adopt elements of significant local architectural themes - or contemporary interpretations of them.'

- WMUD Urban Character Appraisal 2021

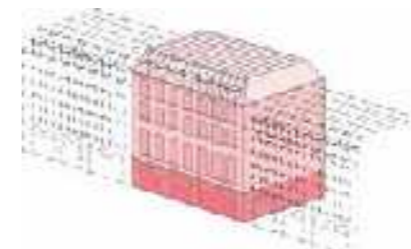
VARIOUS VERNACULAR MOTIFS AND STYLES OF THE HISTORIC TOWN



ANALYSIS OF EXISTING CONTEXT AND STYLES



WINDOW RHYTHMS AND MANSARD ROOFS



BANDING



ARCHES VERNACULAR AND EXPRESSION ON CORNERS



INSET VERANDA/TERRACES

INTO AN OVERALL CONTEMPORARY VISION AS EXTENSION TO LOCAL NEIGHBOURS



BEING COGNISANT ALSO OF NEW TRENDS AND MOTIFS

Figure 5.1039 Translating Jersey vernaculars to contemporary design

5. The Framework

5.7 Approach to Architecture

5.7.2 Responding to the SPG Guidance

GUIDANCE ON DEVELOPING A SPECIFIC ARCHITECTURAL TYPOLOGY

The background document for the Bridging Island Plan of the WMUD St Helier Urban Character Appraisal 2021 highlights nine recommendations on how new development should contribute to the quality of St Helier's townscape including:

'Contribute to distinctiveness and integrate with surrounding townscape:

It is essential to establish the role of the development site within the urban structure of the town.

Developments should help to shape distinctive neighbourhoods and reinforce local identity. Where possible, new buildings must embrace natural and built features and develop synergy with them. New developments should not cause unsympathetic change but should emphasise, retain or enhance the image and identity of the relevant character zone.'

- WMUD Urban Character Appraisal 2021

In line with design guidance within the St Helier Urban Character Appraisal Review 2021 a 'design brief was developed for each of the framework's character typologies. This brings together the analysis and lessons learned from the character analysis and the design principles to establish a matrix of key architectural principles.



Figure 5.1040 Image of the Jersey Museum and Art Galley, an example of a distinctive building with its own identity

5. The Framework

5.7 Approach to Architecture

5.7.2 Responding to the SPG Guidance

LEARNING FROM SAINT-MALO

The WMUD Urban Character Appraisal 2021, as part of the evidence base for the Bridging Island Plan, highlights that St Helier has a strong French influence visible in the street names and styles of architecture. Analysis of French coastal precedents has been undertaken to see how the existing local character has been developed and interpreted in a contemporary way to maintain a clear identity and distinctive architecture.

An example where this approach has been undertaken is at the port of Saint-Malo.

The examples shown on the right illustrate how historical motifs have been reinterpreted and incorporated into an overall contemporary architectural approach for new development.

There are a number of buildings in St Malo, similar to the building in Figure 5.1041, that are typically French in their architectural style.

Analysis of the historic building's architecture, as shown in Figure 5.1042, indicates:

- A clear top, middle and bottom parti to the elevation in contrasting materials and colours
- A regular window arrangement with deep reveals and secondary architectural detail including Juliet balconies and shutters
- A mansard roof with a regular array of dormer windows

The building shown in Figure 5.1043, has been chosen as it demonstrates a contemporary interpretation of the historic building.

Analysis of the contemporary building, as shown in Figure 5.1044, indicates:

- A clear top, middle and bottom parti to the elevation in contrasting materials and colours
- A regular window grid arrangement but with shifts in the alignment and a variation in the window size including bold corner windows
- Secondary architectural detail including Juliet balconies and shallow projecting balconies
- An oversized mansard roof with an irregular array of dormer windows that vary in size and include Juliet balconies



Figure 5.1041 Saint Malo historic building reference



Figure 5.1042 Reference historic building analysis



Figure 5.1043 Saint Malo new build reference



Figure 5.1044 New build analysis

5. The Framework

5.7 Approach to Architecture

5.7.3 Matrix of Key Architectural Elements per Typology

MATRIX OF KEY ARCHITECTURAL PRINCIPLES

The SWSH Visioning Framework develops a matrix of key architectural principles for each architectural typology to guide developers and architects in shaping the new development so that it reinforces the local identity of the waterfront and the adjacent St Helier urban context.

DEVELOPING THE TYPOLOGY

The adjacent diagram illustrates the process of analysis of the local context combined with the design principles as identified in the SPG Advice Note - Design Guidance for St Helier 2013 which would then be used to create each architectural typology within the SWSH Visioning Framework. This is not intended to be a design constraint for the designer but is an illustration of how the architectural design principles set out in the matrix can be interpreted to create a fresh architectural vocabulary for the SWSH Visioning Framework development that is sympathetic to the existing character of St Helier.

This is part of an overarching framework for the development that offers illustrative guidance.

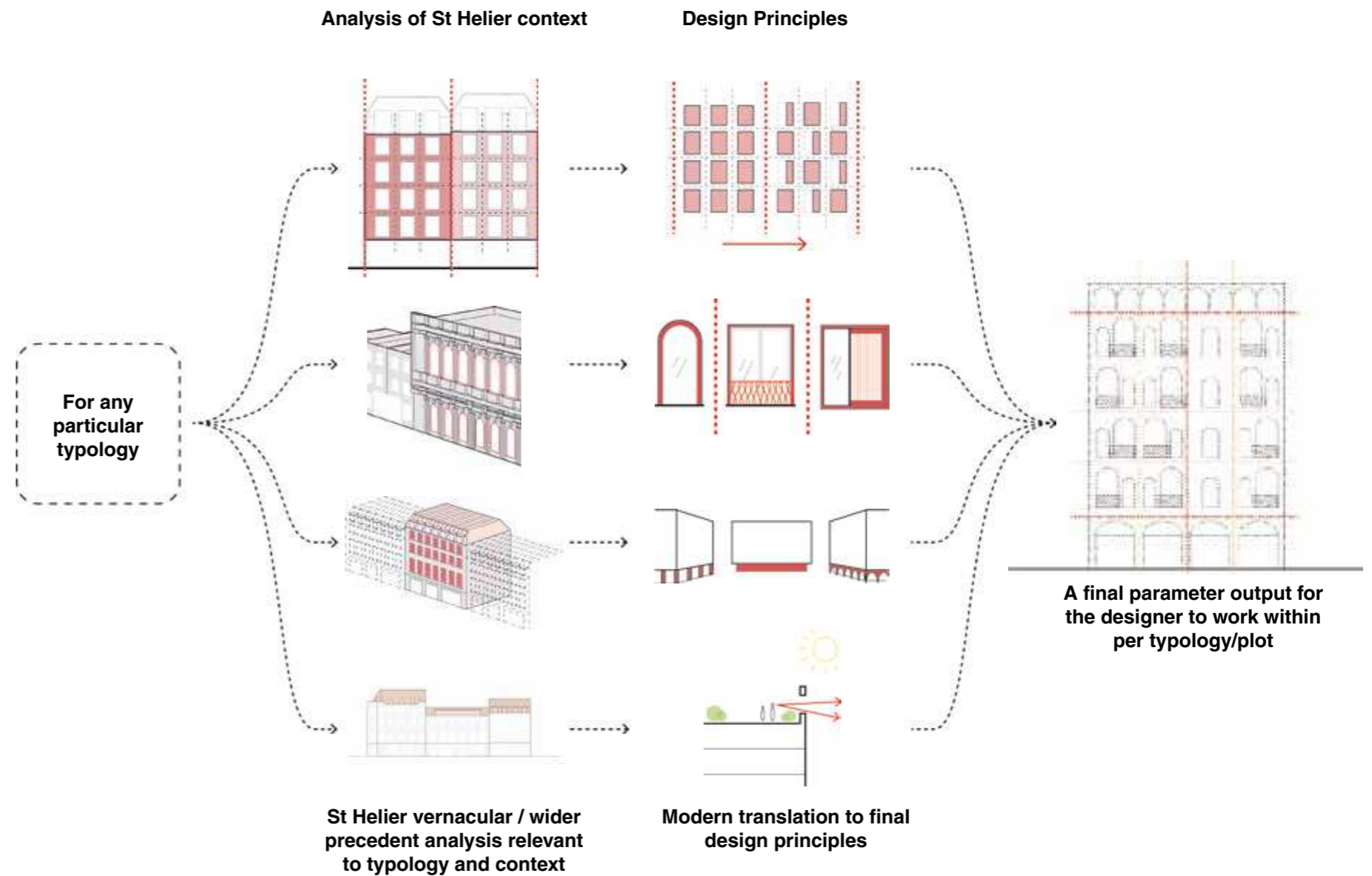


Figure 5.1045 Example methodology

5. The Framework

5.7 Approach to Architecture

5.7.4 Parkside - Specific Elements Matrix



Vernacular/
Relevant precedent



Chelsea Barracks,
London precedent



St Helier precedent



St Helier precedent

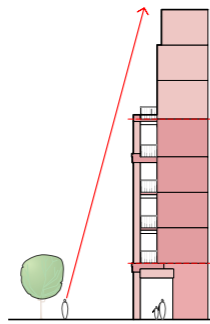


St Helier precedent



St Helier precedent

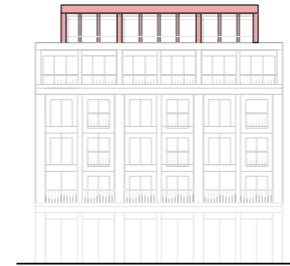
Vernacular/
Precedent analysis



Horizontal banding - top, middle
and bottom



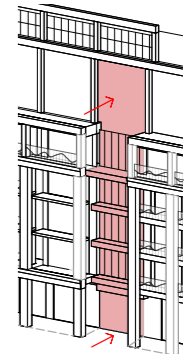
Window rhythms and vertical
façade rhythms



Roofscape silhouette and
stepping variations

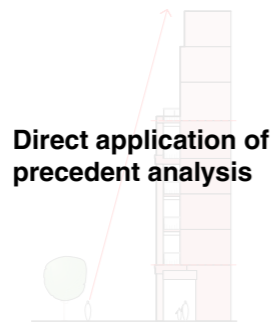


Roofscape stepping and set back
variations

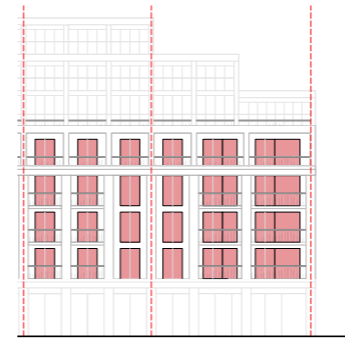


Building line variation

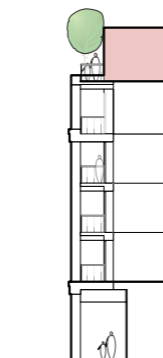
Design principle



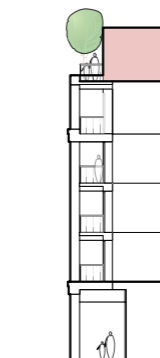
Frontage proportion: Clear top,
middle and bottom to buildings



Horizontal/Vertical and scale of
detail: Opportunities for patterns
and variation within the overall
window grid to give a vertical
emphasis



Roofscape treatment and finishes:
Overall height perception can be
reduced with set backs to the roof
shape with inhabited roof zones



Roofscape treatment and finishes:
Upper levels to include set backs
with inhabited roof zones



Building line: Consistent and
uninterrupted building line with
subtle articulation to emphasise
vertical grain

Figure 5.1046 Parkside - Specific Elements Matrix

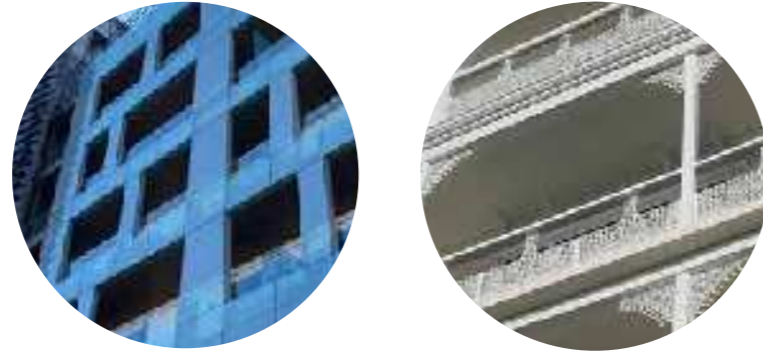
5. The Framework

5.7 Approach to Architecture

5.7.5 Waterfront - Specific Elements Matrix



Vernacular/
Relevant precedent



St Helier precedent



St Helier precedent

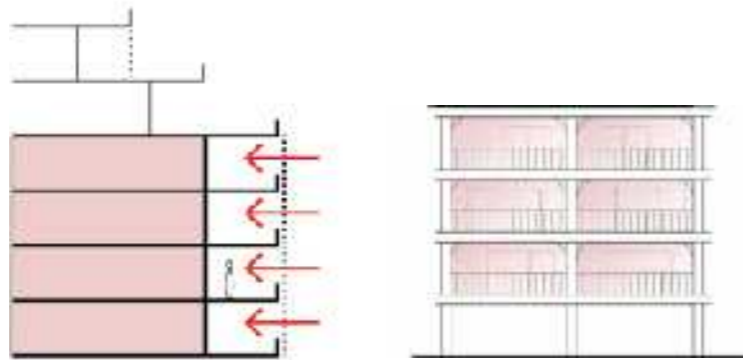


International precedent

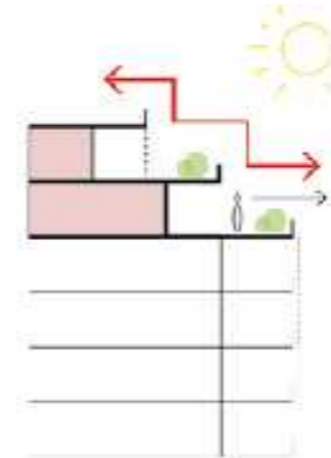


International precedent

Vernacular/
Precedent analysis



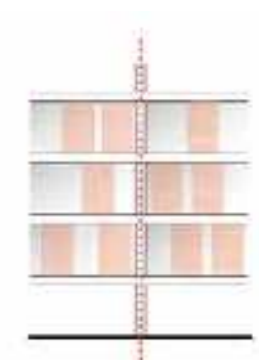
Inset terraces and balconies provide shelter from the maritime environment and are typically used on historical and contemporary buildings



Terraced roof to take advantage of southern aspect and sea views

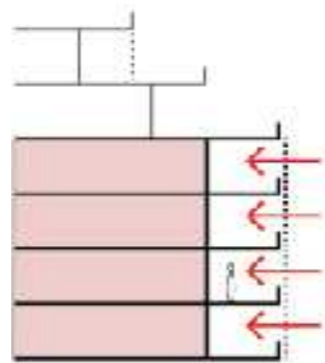


There is a horizontal emphasis to the architecture in the immediate context. Structure can be used to give vertical expression.



Layering of screen elements for shelter and variance across façades

Design principle

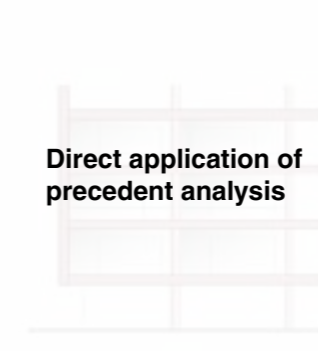


Scale of detail: Inset balconies to provide shelter and depth to the façade



Direct application of precedent analysis

Roof shapes and finishes: The upper levels of the building should be stepped back to create terraces and to help reduce the overall vertical height when viewed from street level



Direct application of precedent analysis

Horizontal/Vertical: Vertical emphasis to the elevation through the expression of vertical structure and other architectural elements within the façade



Direct application of precedent analysis

Scale of detail: Layering of screen elements to add detail and depth to the façade

Figure 5.1047 Waterfront - Specific Elements Matrix

5. The Framework

5.7 Approach to Architecture

5.7.6 Square - Specific Elements Matrix



Vernacular/
Relevant precedent



St Helier precedent



International precedent

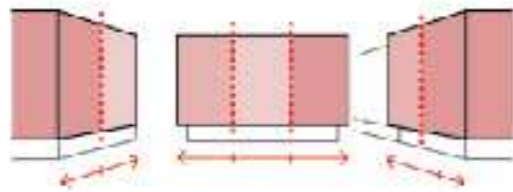


St Helier precedent



St Helier precedent

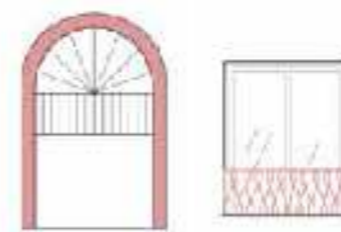
Vernacular/
Precedent analysis



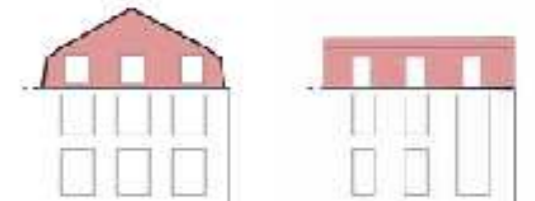
Varied and characterful mix of frontages to surround and enliven square



Expressed frame and infill approach allows for a greater variety and liveliness to the façades by utilising different material infill options



Variation of vernacular inspired architectural elements of St Helier - old and new



Variation of roofscape with a mixture of flat and pitched roofs

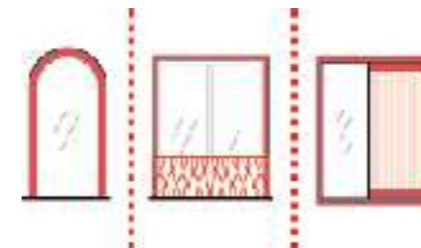
Design principle



Frontage proportion: A variety of façade approaches with a vertical emphasis



Buildings to ground: Variation in the way the buildings come to ground to create variety and interest in the streetscape



Scale of detail: Contemporary interpretation of existing architectural elements to add detail and narrative to the façade



Roof shapes and finishes: Roof shapes to include inhabited mansard roof profiles and flat roof amenity space

Figure 5.1048 Square - Specific Elements Matrix

5. The Framework

5.7 Approach to Architecture

5.7.7 Neighbourhoods - Specific Elements Matrix



Vernacular/
Relevant precedent



International precedent



St Helier precedent



International precedent

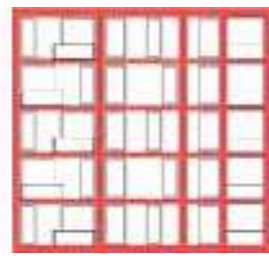


St Helier precedent

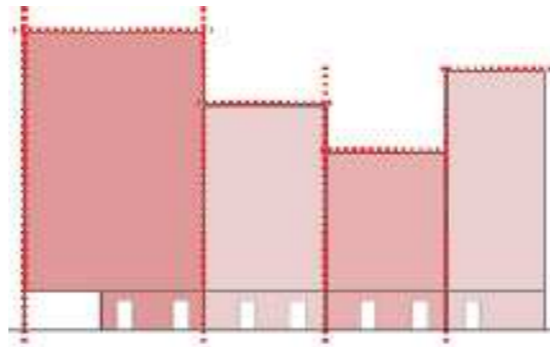


St Helier precedent + International precedent

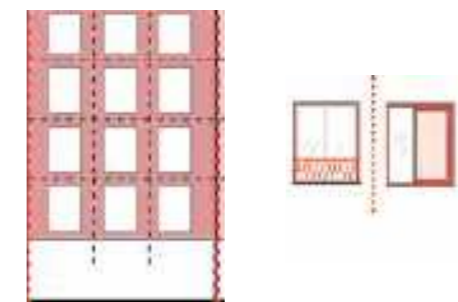
Vernacular/
Precedent analysis



Expressed frame and infill approach allows for a greater variety and liveliness to the façades by utilising different material infill options



Vertical sub-division and roof level variance referencing the Esplanade, with residential coming down to ground where not facilities or retail



Scale of detail and window rhythms within an overall grid



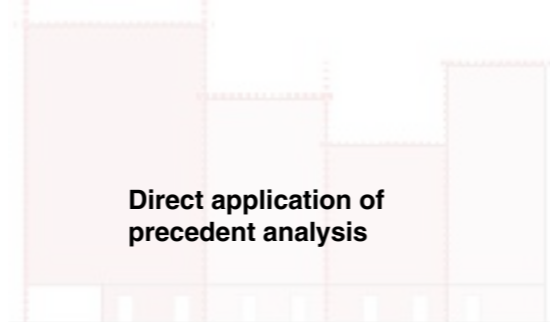
Variation of roofscape with a mixture pitched and modern flat roofs

Design principle



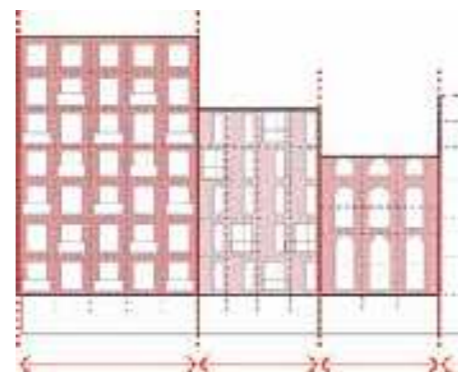
Direct application of precedent analysis

Materials : A variety of materials can be utilised within a frame and infill façade design to introduce variety in texture, colour and detail



Direct application of precedent analysis

Horizontal/Vertical and Frontage proportion: A variety of façade proportions with a vertical emphasis



Scale of detail: Window variation incorporated into façades to emphasise vertical plot subdivision and to add variation in detail to long elevations



Roof shapes and finishes: Roof shapes to include inhabited mansard roof profiles and flat roof amenity space

Figure 5.1049 Neighbourhoods - Specific Elements Matrix

5. The Framework

5.7 Approach to Architecture

5.7.8 Leisure Quarter - Specific Elements Matrix for Leisure and Residential Components



Vernacular/
Relevant precedent



International precedent



International precedent



International precedent

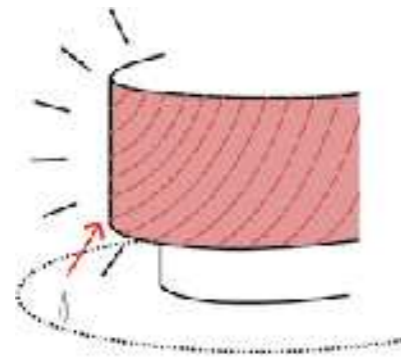


International precedent

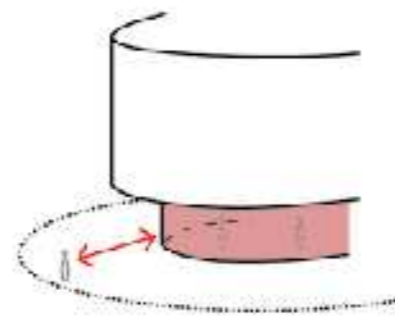


St Helier precedent

Vernacular/
Precedent analysis



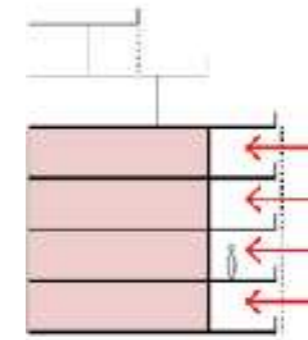
Expressive façade to hold the corner



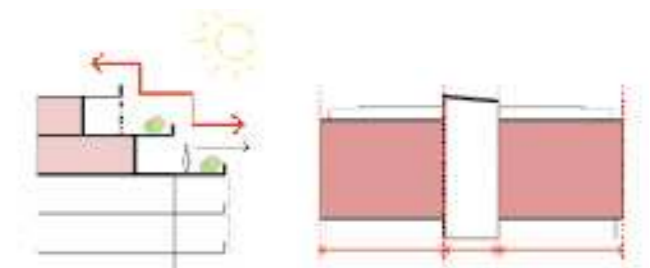
Transparency on the ground plane



Potential for accessible roofscape

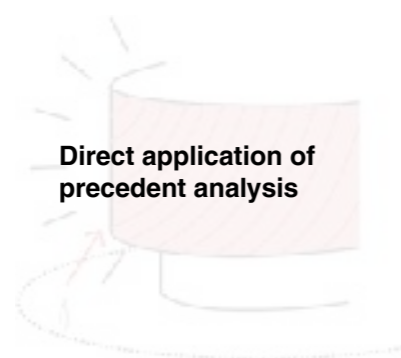


Inset terraces and balconies provide shelter from the maritime environment and are typically used on historical and contemporary buildings



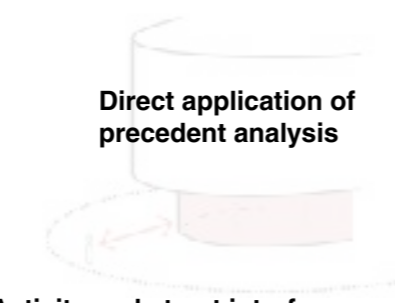
Buildings typically step back at high level to reduce vertical height and roof terraces with sea views. Subdivisions in the massing to give a vertical emphasis

Design principle



Direct application of precedent analysis

Turns the corner: Provide visual emphasis at corner and increase height to skyline



Direct application of precedent analysis

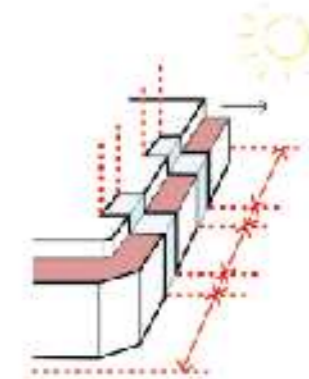
Activity and street interface: Maximise transparency in ground plane to animate the street by showcasing activity within the building

Direct application of precedent analysis

Roof shapes and finishes: Accessible flat roof amenity space

Direct application of precedent analysis

Scale of detail: Inset balconies to provide shelter and depth to the façade



Frontage proportion and Horizontal/vertical: Terraced roof to take advantage of sea views and subdivisions in the massing to give a vertical emphasis

Figure 5.1050 Leisure Quarter - Specific Elements Matrix

5. The Framework

5.7 Approach to Architecture

5.7.9 Apex Building - Specific Elements Matrix



Vernacular/
Relevant precedent



Local precedent



International precedent

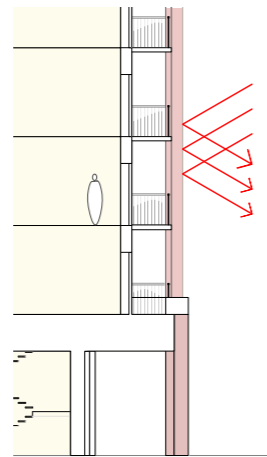


Local precedent



Biodiverse roof

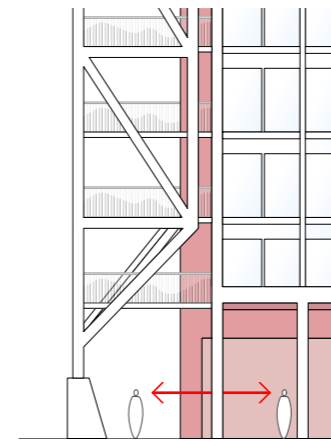
Vernacular/
Precedent analysis



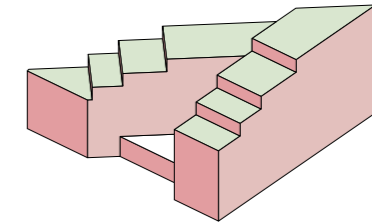
Framing and layering of façade



Façade exoskeleton

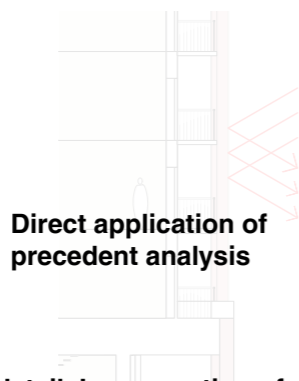


Lightweight courtyard walkways / links



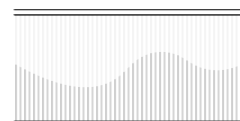
Stepped down biodiverse roof

Design principle



Direct application of precedent analysis

Scale of detail: Incorporation of architectural elements to add detail, shading and privacy to the façade including louvres and brise soleil



Structural grid expression with repeated bays and flat bar wave-twist form railings reflecting maritime setting



Direct application of precedent analysis

Ground floor activation, sheltered colonnade and expressive steel structure reflecting industrial maritime heritage nearby port context



Direct application of precedent analysis

Celebrating the angular site shape, subtractive corner, with stepped down green terraces

Figure 5.1051 Apex Building - Specific Elements Matrix

5. The Framework

5.7 Approach to Architecture

5.7.10 Commercial Quarter - Specific Elements Matrix



Vernacular/
Relevant precedent



International precedent



International precedent

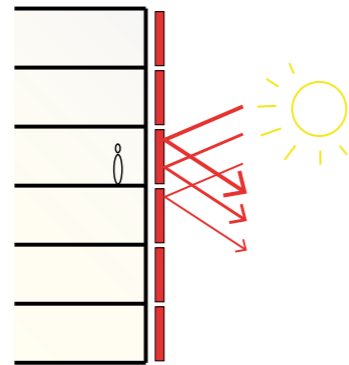


St Helier precedent

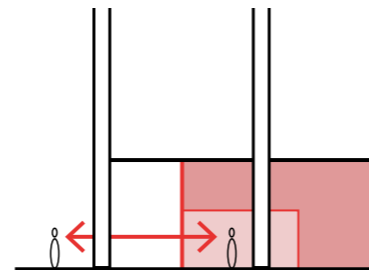


St Helier precedent

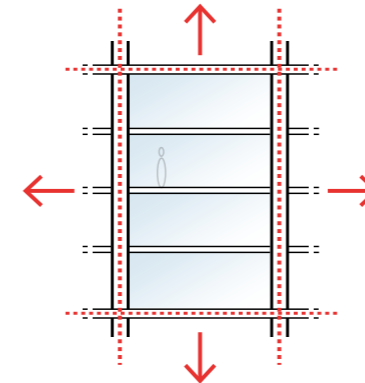
Vernacular/
Precedent analysis



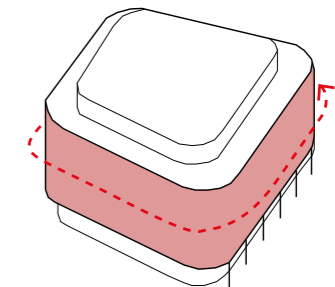
Shading elements to façade, louvres and brise soleil



Ground floor activation and structure to ground with set backs and colonnades

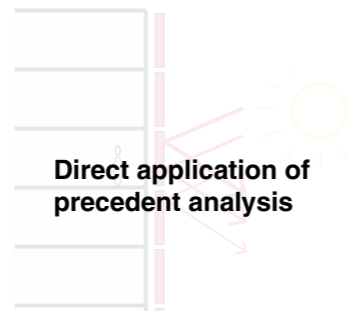


Structural grid expression with repeated bays



Wrapping façade as one unified 360° plot expression

Design principle



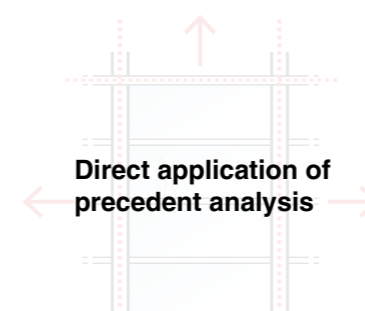
Direct application of precedent analysis

Scale of detail: Incorporation of architectural elements to add detail and shading to the façade including louvres and brise soleil



Direct application of precedent analysis

Activity and street interface and Buildings to ground: Variation in the way the buildings come to ground to create variety and interest in the streetscape



Direct application of precedent analysis

Frontage proportion and Horizontal/vertical: A consistent façade proportion with a vertical emphasis to the expressed structural grid



Direct application of precedent analysis

Turns the corner: A consistent façade proportion with a visual emphasis to the corners

Figure 5.1052 Commercial Quarter - Specific Elements Matrix

5. The Framework

5.7 Approach to Architecture

5.7.11 Typical St Helier Material Mix

‘Buildings must reflect and celebrate the distinctiveness of Jersey in their form, materials, function and finishes.’

- Jersey Design Guide 2008

UNDERSTANDING THE ST HELIER MATERIALS PALETTE

The earliest development in St Helier reflected the architecture of the countryside and used roughly-hewn local granite, arched door openings and ornamental carved stone. As different and innovative ideas and architectural styles have arrived new materials and decorative motifs have been introduced. This has created a rich mix of façade materials, tone, colour and texture with the predominant traditional materials being stone and stucco.

The Georgian period in St Helier saw the development of high quality building façades utilising coarse granite masonry combined with dressed stone openings to create finely proportioned façades typical of the 18th Century. As the harbour facilities were improved new materials were imported onto the island including Dutch pantiles, Welsh slate and brick.

The biggest change to St Helier’s architecture occurred during the Regency period which dramatically changed the style of the town. Fine stucco work and its ability to be moulded and shaped into decorative relief would lead to the later extravagant decoration of the high Victorian and Edwardian periods.

Stucco remained in fashion during the Victorian building period but was complemented by a wider variety of materials including squared, coursed stonework and polished granite. Brickworks opened in Jersey in the 19th Century making the previously expensive material a viable option for some buildings and cement render became fashionable. A mixture of English cement and local sea sand, cement render produced an external covering for brick and rubble stone and did not require regular painting.

More recent post war and modern development has seen the introduction of façade systems and factory produced materials such as cast stone and pre-cast concrete in keeping with the increasing globalisation of construction materials.

In Figure 5.1053 opposite, the Framework looks to draw from the typical material mix of St Helier for the developments essential materials base.

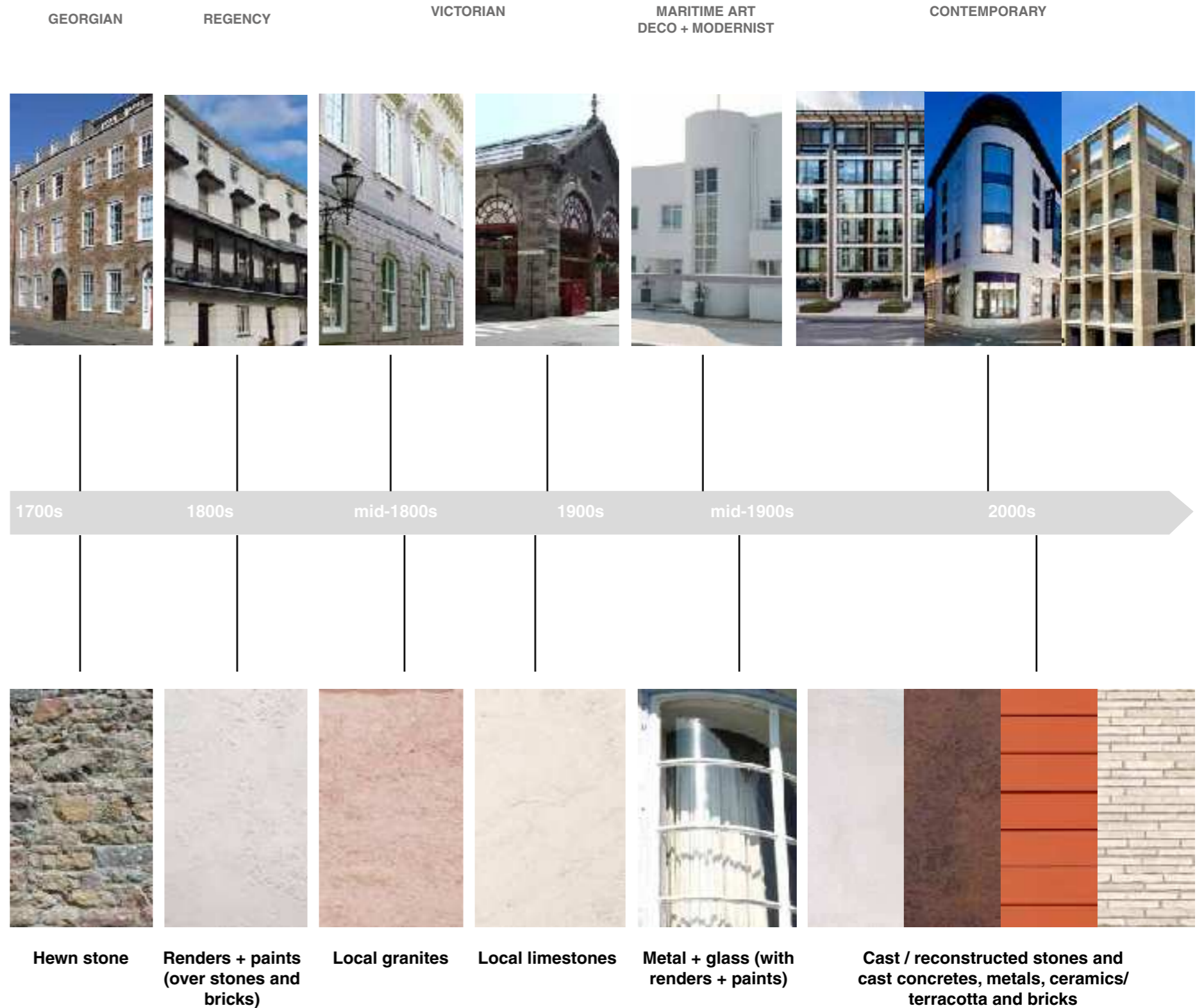


Figure 5.1053 St Helier typical material mix

5. The Framework

5.7 Approach to Architecture

5.7.11 Typical St Helier Material Mix

‘The choice of materials for a building can produce harmony, diversity or disharmony within a single elevation or between adjoining buildings, depending on colour, texture, the manipulation of the material and its unit size.’

- SPG Design Guidance for St Helier 2013

DEVELOPING A PALETTE OF MATERIALS OF THE SWSH VISIONING FRAMEWORK

The Urban Character Appraisal emphasises the importance of built features and buildings and their role in giving St Helier its unique character and identity. In particular, it cautions against introducing unsympathetic architectural styles and materials that fail to enhance the existing townscape. The Jersey Design Guide September 2008 includes the Ministers Design Principles issued in 2006 by the Minister for Planning and Environment that are given consideration when determining planning applications including the principle that new development should reflect their relevance to Jersey including through the materials used. The Framework has therefore developed a limited palette of materials in line with the Jersey Design Guide and set out a hierarchy for their use. The hierarchy includes:

Primary materials palette – recycled concrete, glass concrete, steel trusses, integrated salvage, climbing plants/greenery, integrated public art.

Secondary materials palette – this includes a wider range of materials utilising high quality manufactured materials commonly integrated into modern construction systems including re-constituted and pre-cast stone, brick and natural pre-finished metals. This palette is designed to complement and work with the primary materials selected. Materials include brick, pre-cast concrete, ribbed metal façade cladding, sculptural steel railings, sliding perforated screens, tiled balcony soffits.

Detail/infill palette – these materials are smaller in format and intended to be used to add a finer level of detail, colour and texture as smaller areas of infill complementing or contrasting with the primary and secondary palettes. There are opportunities to be innovative in the ways the materials are used and incorporated as more bespoke elements to create decorative detail and narrative.

Hard-wearing and long-life quality materials will be chosen - to an overall palette that takes inspiration from the local colours and materials with the introduction of new or equivalent items where appropriate.

PRIMARY PALETTE



Granites



Limestones



Hewn stone texturing



Recycled / glass concrete



Steel trusses

PRIMARY SECONDARY AND DETAIL/INFILL PALETTE



Pre-oxidised, coated, anodised and stainless metals



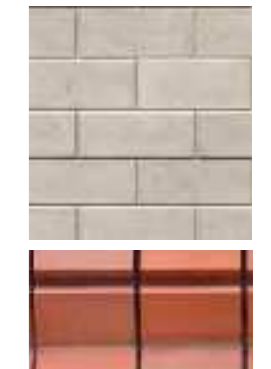
Acetylated woods



Metalwork patterning inspired by Jersey knit pattern



Ceramics and terracotta



Reconstructed stones and cast concretes



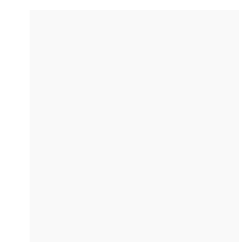
GRC and fibre cements



Bricks - Tone, layout and jointing variations



Oyster shell stucco



Glass



Glazed tiles/ bricks

Figure 5.1054 Material Palette

5. The Framework

5.8 Architectural Typologies

5.8.1 Key Architecture Typologies

The aspiration of the SWSH Visioning Framework is to create a variety of spaces, ensuring a positive relationship between the buildings and the public and private realm.

The Framework has been developed with a clear and coherent spatial structure to create new and legible connections with the surrounding townscape. This has been further enhanced by developing architectural typologies within the Framework that have a variety of architectural expressions to ensure an engaging environment. These have evolved through analysis of the characteristics of the adjacent urban development and the application of design principles extracted from the analysis to create typologies that interpret the St Helier vernacular architecture in a modern and contemporary way.

The typologies relate to key proposed public spaces, entry points and major arterial routes within the Framework and provide visual guidance on how the designs for the buildings can evolve. They help to define the new public realm through their façade treatments and use, whilst the public realm defines specific settings that support the various building typologies. Building massing and typologies significantly contribute to the scale and experience of the new spaces within the Framework.

The architectural typologies assist in defining the character and provide a structure to the Framework, these include:

- The Parkside and Waterfront typologies that form part of the highly visible edges to the development and the backdrops to Les Jardins de la Mer and waterfront.
- The Square, Apex Building and Commercial Quarter typologies that have a variety of architectural expressions to animate and enhance the sequence of major new public spaces that connect the town to the waterfront
- The Neighbourhoods form the edges to La Route de la Libération and Rue de L'etau and are connected via a series of communal courtyards and lanes
- The Leisure Quarter typology - inclusive of both its leisure and residential components, form an important landmark at the Eastern gateway to the Framework and a key elevation onto the Marina Gardens respectively.



Figure 5.1055 Aerial view across bay



5. The Framework

5.8 Architectural Typologies

5.8.1 Key Architecture Typologies

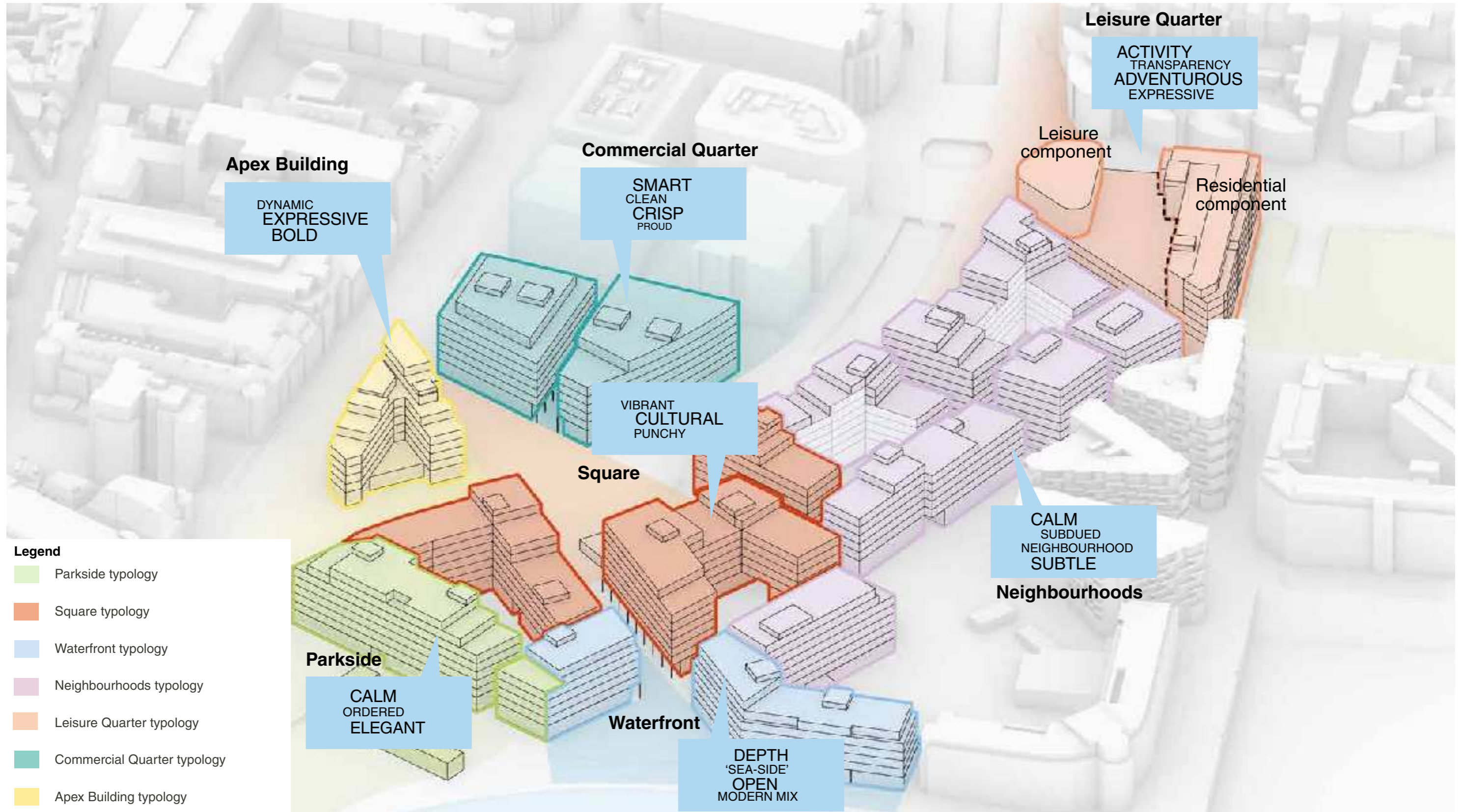


Figure 5.1056 Architectural typology diagram describing the sense of place within each typology

5. The Framework

5.8 Architectural Typologies

5.8.2 Waterfront



LOCATION

The Waterfront typology occupies the western edge of the Framework in a key location on St Helier’s new waterfront. It includes Plot C2 and Plot B1 that forms two sides of the proposed triangular Waterfront Square. The new square terminates two key routes: the primary pedestrian route that crosses La Route de la Libération and the northern end of Rue de L’etau. The longer Plot B1 is cranked in plan and addresses the seafront and the square. The shorter Plot C2 block completes the communal garden to the larger Plot C1 and forms the key address onto the Waterfront Square.

CHARACTER

The Waterfront typology takes advantage of the panoramic sea views to promote a more international and contemporary architecture for St Helier, creating a bold, fresh modern outlook to the seafront. The residential building with ground floor non-residential use is more ‘open’ and layered than the Parkside typology but borrows the same materiality and tones to ensure it sympathetically completes the overall seafront architectural composition.

Frontage proportion - The Castle Quay development, as shown in Figure 5.1058, has a horizontal emphasis, a clear top, middle and bottom, a varied scale of detail to its façades and the roof is set back at high level.

Diversity/homogeneity - The new waterfront development ‘the Horizon’, shown in Figure 5.1059, will deliver a fresh, modern ‘Mediterranean’ approach to the waterfront.

Frontage proportion - The art-deco maritime style St Aubin’s Road development has a horizontal emphasis with inset balconies and vertical subdivision emphasised through the expressed structure and bold bay windows as shown in Figure 5.1060.

Scale of detail - Figure 5.1061 is an example of a fresh and outward looking development from Marseille in the Mediterranean tradition with awnings, screens and expressed balcony structures.

Scale of detail - This image shown in Figure 5.1062 shows the layering of sliding screens and balustrading to achieve depth within the façades and provide shelter to open terraces.



Figure 5.1058 St Helier precedent, Castle Quay: Frontage proportion



Figure 5.1060 St Helier precedent, St Aubin’s Road: Frontage proportion



Figure 5.1061 International precedent, France: Perforated screens



Figure 5.1059 St Helier precedent, Horizon Development: Diversity/homogeneity



Figure 5.1062 International precedent, Switzerland: Layers in façade

5. The Framework

5.8 Architectural Typologies

5.8.2 Waterfront



USES

The Waterfront Square will have a lively ground plane with leisure uses, cafés and restaurants that spill out onto the square and seafront promenade for al fresco dining. The residential development includes balconies setback to create shelter from the seafront aspect and a high level roofscape of stepped terraces to maximise sea views.

MATERIALITY

The primary material palette is of the same family to the Parkside typology that includes limestones with an added twist of contemporary materials such as re-constituted stone and pre-cast concrete with opportunities to add coloured pigments and aggregates. Secondary materials are complemented by the layering of additional architectural detail, colour and texture. Moveable or fixed screens, awnings and shading elements shall be considered to provide shelter and shade along the exposed coastal aspect.

Horizontal emphasis - The framed façade shown in Figure 5.1067 is an example of a modern development in Melbourne, Australia that gives the building a horizontal emphasis.

Scale of detail – The two examples show in Figures 5.1068 and 5.1069 illustrate how the layering of different materials can add colour, depth and texture to a façade to create visual interest and provide protection to open balconies.



Figure 5.1063 Illustrative elevation of the Waterfront typology



Figure 5.1064 Reconstructed stones and cast concrete for main frame



Figure 5.1065 Top floor setback



Figure 5.1066 Scale of detail



Figure 5.1067 Framed Façade, Horizontal emphasis



Figure 5.1068 Perforated screens in port blue colour (see Figure 5.1069)



Figure 5.1069 Colours that link to the ports and waterfront

5. The Framework

5.8 Architectural Typologies

5.8.3 Parkside



LOCATION

The Parkside architectural typology is in a prominent location forming the northern edge of the SWSH Visioning Framework and part of Plot C1 and C2 that frames the northern gateway to the project. At its northern boundary, it defines the edge to Les Jardins de la Mer and establishes the new waterfront to St Helier. Its eastern boundary forms part of the street frontage along La Route de la Libération, whilst its western border fronts onto the new Waterfront Square.

CHARACTER

The Parkside typology has a human scale, 'park-edge' residential feel that takes its inspiration from the Georgian residential rhythms of the local area including the Esplanade and People's Park. Designed as a row of contemporary townhouses with an activated ground plane it is intended to bridge the gap between St Heliers vernacular architecture and a more contemporary approach by utilising traditional materials and motifs in a fresh manner.

Frontage proportion - There are several examples of townhouses and period properties that form the elegant backdrops to the town's historic parks as shown in Figure 5.1070. Figure 5.1071 shows an example of framed façades with a light top floor from St Helier whilst Figure 5.1072 shows the timeless elegance of the Chelsea Barracks development.

Fenestration proportion - The College Gardens development in St Helier uses an irregular window array, as shown in Figure 5.1073.

Building line - The Wesley Street development, shown in Figure 5.1074, has a more traditional regular façade geometry with setback balconies at high level to create added depth and disrupt the formal geometry.



Figure 5.1070 St Helier precedent, the Parade: Frontage proportion



Figure 5.1071 St Helier precedent: Framed façade and light top floor



Figure 5.1072 Chelsea Barracks, London: Frontage proportion



Figure 5.1073 College Gardens, Jersey: Fenestration proportions



Figure 5.1074 St Helier precedent, Wesley Street: Vertical emphasis

5. The Framework

5.8 Architectural Typologies

5.8.3 Parkside



USES

The proposed uses throughout the typology will be primarily residential with leisure, café and flexible workplace uses at ground level creating a vibrant streetscape along the primary desire line between the northern edge of the Framework and the lido.

The public lane that emerges through the Parkside typology connects the Les Jardins de la Mer with the wider Framework streetscape and the presence of open amenity space at the northern boundary will encourage local people into and across the site.

MATERIALITY

A warm and restrained palette of materials are proposed including reconstructed stone and cast concrete for the main frame, warm metals for top floor setbacks, salvaged panels at ground floor and details for railings, which are in keeping with a high quality façade overlooking a major civic space. A secondary palette of natural pre-weathered or anodised metals forms the roof scape and framing with façade highlights and infill in glazed brick and terracotta to add detail. The intention is that there is a subtle variation of materials across the façade to define the vertical grain across the elevations but with similar tones to unify the development typology.

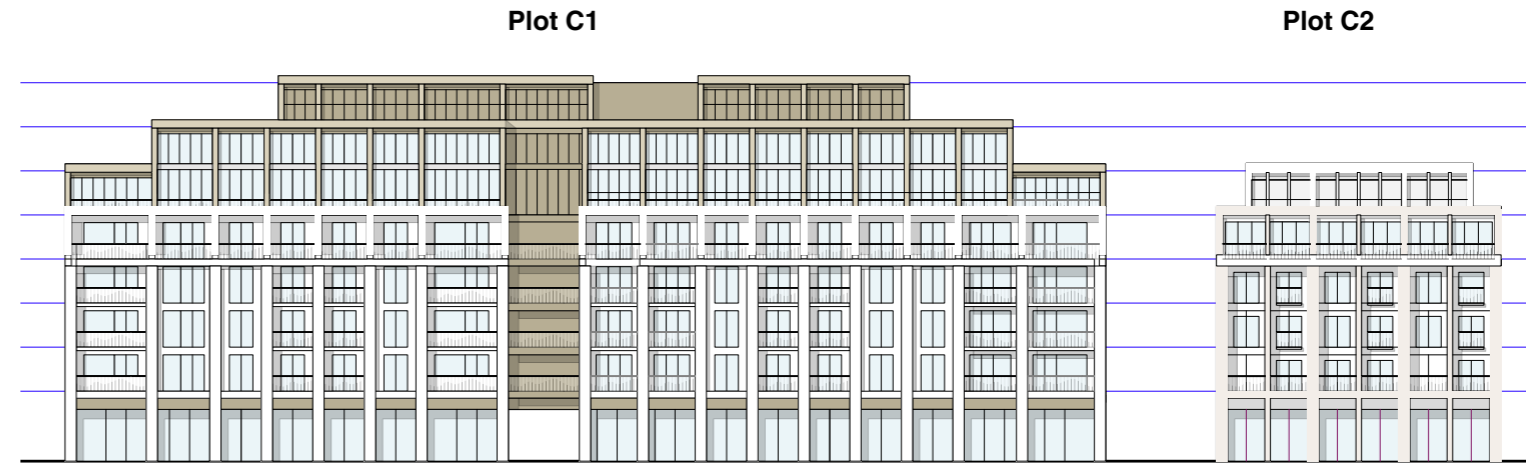


Figure 5.1075 Illustrative elevation of the Parkside typology



Figure 5.1076 Reconstructed stones and cast concrete for main frame



Figure 5.1077 Top floor set back / warm metals



Figure 5.1078 Top floor setback



Figure 5.1079 Detail for railings



Figure 5.1080 Collage Gardens, Jersey: Fenestration proportions and cornice line in details



Figure 5.1081 London, UK Precedent: Metal top floor



Figure 5.1082 Ed Le Quesne House, Jersey: Railing details and inset balconies

5. The Framework

5.8 Architectural Typologies

5.8.4 The Square



LOCATION

The Square typology frames the western edge of the new triangular Central Square at the heart of the Framework. It includes Plot C1, A1 and D2. Plot A1 forms the key elevation onto the Central Square at its western end and forms the focus for the major pedestrian routes that cross La Route de la Libération that connect the old town to the waterfront.

CHARACTER

The Square typology is a vibrant arts and culture destination with an architecture that takes inspiration from the mix of vernacular styles in the Royal Square to create a lively backdrop to the cultural programme at the heart of the development.



Figure 5.1083 St Helier Precedent, Jersey Market: Scale of detail



Figure 5.1084 St Helier Precedent, Royal Square: Diversity/homogeneity



Scale of detail – The historic Central Market, as shown in Figure 5.1083, incorporates traditional stone details and a bold use of arches to open up the façade to the street and reduce its mass and solidity.

Diversity/homogeneity – The town’s historic Royal Square has a variety of period properties that vary in style and detail and animate the public space as shown in Figure 5.1084.

Scale of detail – The modern façade shown in Figure 5.1085 shows how simple planting can be add colour and soften a bold but otherwise monotone façade.

Scale of detail – Figure 5.1086 demonstrates an example of a modern interpretation of the traditional arch within a contemporary London development to create a dramatic street frontage.

Diversity/homogeneity – The recently completed Minden Place development, as shown in Figure 5.1087, has a deep layered façade with warm toned storey height brick panels and piers supporting expressed floor slabs.

Materials – A development in Antibes, France, as illustrated in Figure 5.1088, incorporates glazed terracotta large format cladding panels and corner balconies within an expressed structural frame



Figure 5.1085 International Precedent, Italy: Scale of detail



Figure 5.1087 St Helier Precedent, Ed Le Quesne House: Diversity/homogeneity



Figure 5.1086 London, UK Precedent: Scale of detail



Figure 5.1088 International Precedent, France: Materials

5. The Framework

5.8 Architectural Typologies

5.8.4 The Square



USES

The ground level of the Square typology is prime frontage and includes shops, cafes, restaurants that benefit from the anticipated footfall passing by enroute to the waterfront. The primary street crossing the Central Square through to the Waterfront Square is colonnaded on both sides of the northern route providing a shelter for outdoor dining and attractive footway. A new art house cinema will create a new cultural destination and anchor to the western end of the Square providing an animated backdrop to outdoor events.

MATERIALITY

The Square typology has a rich blended mix of materials and façade approaches. In addition to the main material palette of local stones, re-constituted stone and pre-cast concretes are added for contemporary frame and infill façade treatments. An expanded palette of secondary infill materials are proposed for added texturing and richness in this high profile location.

Figure 5.1089 – Illustrative elevations of the Square typology

Materials – Figure 5.1090 shows an example of a proposed development that uses brick as the primary façade infill material within an irregular array of window openings.

Materials – Simple planting can be used to add colour and soften a deep pre cast-stone façade in a modern façade in Italy as shown in Figure 5.1091.

Materials – Strongly pigmented concrete/GRC and similarly toned balustrades used to form a dramatic stack of balconies on a recent residential development, as shown in Figure 5.1092, in London.

Scale of detail – Figure 5.1093 shows an example of a single uniform façade material incorporating a variety of openings including an arched motif at ground and high level.

Plot D1



Plot A1



Plot C1



Figure 5.1089 Illustrative elevations of the Square typology



Figure 5.1090 International Precedent, France: Materials



Figure 5.1092 London, UK Precedent: Materials



Figure 5.1093 London, UK Precedent: Scale of detail

5. The Framework

5.8 Architectural Typologies

5.8.5 The Neighbourhoods



LOCATION

The Neighbourhoods typology forms a distinct and large area of the illustrative framework formed from the B1, D1, D2 and E1, E2 and E3 plots. Forming long formal elevations onto the streetscapes of La Route de la Libération and Rue de L'etau they enclose private communal courtyard spaces linked by a continuous lane.

CHARACTER

This is typically a residential typology with a calm 'neighbourhood' feel designed to create a new community of waterfront residents keen to live, work and play in St Helier. Distinctly different to the more vibrant Square and Waterfront typologies it includes a variety of non-residential uses at ground level and it is more human scale in its details and materiality.

Diversity/homogeneity – Recent examples of frame and infill façade approach can be seen in Figure 5.1094 that allows for the incorporation of materials with more texture such as local stone and brick.

Scale of Detail – An example from a London development, as shown in Figure 5.1095, demonstrates the residential use coming to ground and high quality coordinated detail within the depth of the façade.

Buildings to ground – The Wesley Street development in Figure 5.1096 also shows the residential use coming to ground within the new Wesley Chapel development.

Roof shapes and finishes – Figure 5.1097 shows an example of an accessible roof top garden providing residential amenity.

Hard/soft – A recently completed development, as illustrated in Figure 5.1098, in London showing a variety of detail approaches that help to create a sense of domestic scale to the inward looking courtyard elevations.

Materials - Example of a Swedish residential development using a solid high quality pre-cast stone faced system with punched windows and projecting balcony detailing providing added depth and material contrast as shown in Figure 5.1099.



Figure 5.1094 International Precedent, Berlin: Diversity/homogeneity



Figure 5.1095 London, UK Precedent: Scale of Detail



Figure 5.1096 St Helier Precedent, Wesley St.: Buildings to ground



Figure 5.1097 London, UK Precedent: Roof shapes and finishes



Figure 5.1098 London, UK Precedent: Hard/soft



Figure 5.1099 International Precedent, Sweden: Materials

5. The Framework

5.8 Architectural Typologies

5.8.5 The Neighbourhoods



USES

Primarily a residential area the Neighbourhoods typology has residential coming to ground level with access directly onto the lane and landscaped private communal gardens. The corners of the plots are activated on street frontages with local retail, cafés and social uses that serve the immediate community.

MATERIALITY

Overall the materiality should reflect a contemporary interpretation of the subtle variations, detail references and motifs found in the historic architecture of St Helier.

In addition to the main material palette of softer, lighter local stones, re-constituted stone and pre-cast concretes are introduced to add options for contemporary frame and infill languages with granites and warm toned bricks reserved for infill or secondary material cladding to introduce more human scale detail elements.

Illustrative elevation of the outward facing Neighbourhood typology with a more formal, regular façade approach as illustrated in Figure 5.1100.

Scale of detail - An example of fully stone clad apartment project in Switzerland with projecting balconies and ornate balustrade metalwork for added detail can be seen in Figure 5.1101.

Scale of detail - Figure 5.1102 shows a London residential development with lighter re-constituted cast stone frame with an infill of soft toned brick panels incorporating juliet balconies to window openings.

As demonstration of principles, Figure 5.1103 shows an illustrative elevation of the inwards facing Neighbourhood typology with greater detail and articulation to the façade to create a more domestic and human scale approach.

Plot E1



Figure 5.1100 Illustrative elevation of the Neighbourhood typology Plot E1 facing La Route de la Libération



Figure 5.1101 International Precedent, Switzerland: Scale of detail



Figure 5.1102 London, UK Precedent: Scale of detail

Plot D2



Figure 5.1103 Illustrative elevation of the Neighbourhood typology facing the internal communal gardens

5. The Framework

5.8 Architectural Typologies

5.8.6 Leisure Quarter - Leisure Component



LOCATION

Occupying the large island plot F1 the Leisure Quarter typology is in a prominent location at the southern end of the Framework and has two components: a Leisure component that addresses the town and a Residential component that looks towards the existing waterfront and marina development.

Together with the IFC development opposite the Leisure Quarter - Leisure component forms a new gateway into St Helier for visitors arriving from the harbour.

CHARACTER

The Leisure Quarter typology can be more adventurous and expressive within the waterfront townscape. The façade to the Leisure component will become a new landmark and visible anchor to the southern end of the Framework.

Turns the corner - The central London example shown in Figure 5.1104 demonstrates a building with a dramatic key corner façade integrating lighting, depth and layered transparency and a highly animated street frontage.

Activity and street interface - ‘Conceal and reveal’ type layering of screening elements can be used to create a dynamic and interesting façade that welcomes and draws in the building’s users, as shown in Figure 5.1105.

Scale of detail – A statement façade, shown in Figure 5.1106, to a new theatre incorporating kinetic artwork panels adds depth and layering to the main façade.

USES

The new leisure element replaces the existing leisure complex and provides the opportunity to create a dynamic ground plane with transparent 360 street frontages offering glimpses of the activity within.

MATERIALITY

This building requires a distinct palette of materials that allow for greater transparency and liveliness on the façade of the leisure element. Envisaged as a continuous, seamless wrap around the island plot its façade can incorporate variable porosity/opacity to help display and curate views of the activity within.

Materials – Figure 5.1107 shows an acrylic façade system to a retail façade in London designed to create complex lighting effects through the transparent and opaque milled artwork.



Figure 5.1104 London, UK Precedent: Turns the corner



Figure 5.1105 International Precedent, China: Activity & street interface



Figure 5.1106 Liverpool, UK Precedent: Scale of detail



Figure 5.1107 London, UK Precedent: Materials

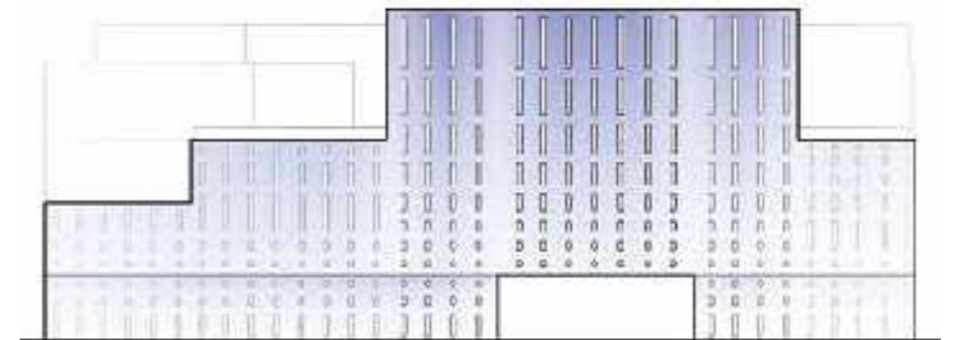


Figure 5.1108 Illustrative example of the façade materials on the Leisure Quarter - Leisure component facing La Route de la Libération

5. The Framework

5.8 Architectural Typologies

5.8.7 Leisure Quarter - Residential Component



LOCATION

Occupying the large island plot F1 the Leisure Quarter typology is in a prominent location at the southern end of the Framework and has two components: a Leisure component that addresses the town and a Residential component that looks towards the existing waterfront and marina development. The Residential component provides a key elevation that overlooks onto the Waterfront Gardens, providing a lively and residential backdrop to this key public space.

CHARACTER

The Leisure Quarter typology can be more adventurous and expressive within the waterfront townscape. The façade of the Residential component will

Illustrative example elevation of Figure 5.1109 shows the Leisure Quarter residential typology that forms a key elevation to the Marina Gardens.

Massing - The vertical subdivision of the main horizontal run is to be achieved through the use of set-ins and winter gardens, to allow the distinct expression of readable sub-sections within the massing, as in this example from Australia shown in Figure 5.1110.

Diversity/homogeneity - The Residential component of the Leisure Quarter typology should sit at ease with its contemporary harbour-side surrounds, as shown in Figure 5.1111 of the adjacent Horizon development.

USES

The residential component occupies the upper levels of the Waterfront Gardens park frontage with long views to the seafront and complements the existing quayside residential development.

MATERIALITY

The residential component utilises re-constituted stones, pre-cast concretes and various composite options for cladding types to reflect the overall contemporary nature of the Leisure Quarter typology and its directly facing neighbours of the Horizon & Castle Quay apartments.

Materials – Figure 5.1112 shows an example from Switzerland where high quality, hard wearing materials have been chosen that also link to an articulated depth of façade through inset balconies and layered screening.



Figure 5.1109 Illustrative elevation of the residential side of the Leisure Quarter - Residential component facing Marina Gardens



Figure 5.1110 International Precedent, Australia: Massing



Figure 5.1111 St Helier Precedent, Horizon Development: Diversity/homogeneity



Figure 5.1112 International Precedent, Switzerland: Materials

5. The Framework

5.8 Architectural Typologies

5.8.8 Commercial Quarter



LOCATION

Occupying two island plots G2 and G3 the Commercial Quarter typology will be the latest evolution of St Heliers International Financial Centre (IFC) that has developed in response to the towns need for large, modern workplace environments capable of attracting international occupiers. The plots also activate the southern edge of the proposed new Esplanade Square at the heart of the Framework that links the old town to the new waterfront.

CHARACTER

Although a continuum of the existing IFC development in scale and reflecting the bold, contemporary architecture of the existing's clean, crisp and smart character, the new commercial buildings also need to attract the next generation of occupier keen to project their socially and environmentally responsible credentials.

Scale of detail - Figure 5.1113 is an example of major new commercial office building in London incorporating passive shading elements within an overall expressed stone clad structural frame.

Frontage proportion - The IFC 1+2 office development, as illustrated in Figure 5.1114, has a modern appearance utilising a crisp expressed vertical and horizontal grid of pre-cast stone, full height glazing and additional detail panels for added colour and texture.

Frontage proportion - An early IFC concept image shown in figures 5.1115 illustrates a 360 wrap of floor to ceiling glazing on a staggered grid with green wall panels for added colour and texture.

Activity and street interface - Figure 5.1116 shows an illustrative example of an active ground plane incorporating a sheltered colonnaded route with cafés and cultural uses occupying the streetscape.

Activity and street interface - A modern activated office entrance lobby with double height spaces and visual connection to the street is illustrated in Figure 5.1117.



Figure 5.1113 London, UK Precedent: Scale of detail



Figure 5.1114 St Helier Precedent, IFC development: Frontage proportion; credit: MJP Architects



Figure 5.1115 St Helier Precedent, IFC (proposed): Frontage proportion



Figure 5.1116 International Precedent, Switzerland: Activity and street interface



Figure 5.1117 London, UK Precedent: Activity and street interface

5. The Framework

5.8 Architectural Typologies

5.8.8 Commercial Quarter



USES

Designed as modern workplace with efficient floorplates and high quality public realm the Commercial typology has roofscape amenity for its users and an active ground plane onto the square with opportunities for high quality restaurants, cafés and cultural offers.

MATERIALITY

The two buildings within the Commercial Quarter are designed to compliment each other but will have their own identity and appearance.

Re-constituted stones, pre-cast concretes and high performance curtain walling are proposed as the primary material palette that wrap the two buildings, in keeping with the expressed structure and clean façades of the adjacent IFC buildings.

Secondary cladding elements, infill composites and metals are proposed together with complementary highlights of metals, terracotta/ceramics and greening of the façade to add an additional level of detail, architectural character and shading.

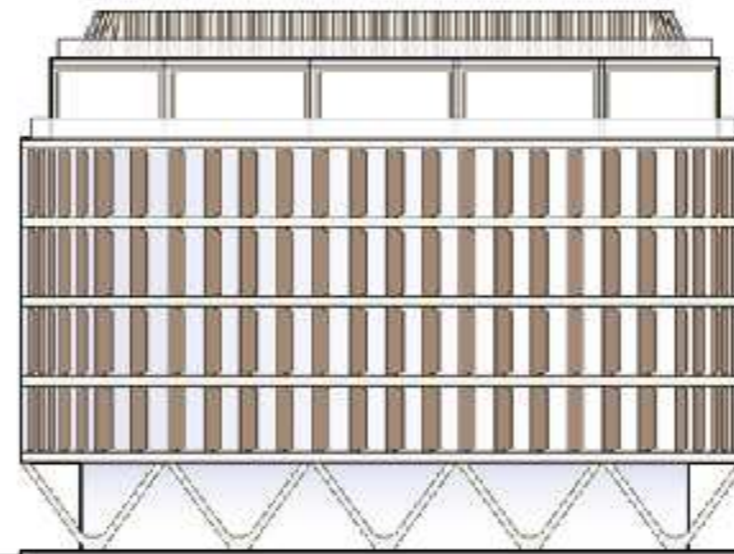
Scale of detail - The façade detail image shown in Figure 5.1119 of major new commercial office building in London incorporating vertical and horizontal passive shading elements within an overall expressed stone clad structural frame

Turns the corner - An early IFC concept image shown in figures 5.1120 illustrates a 360 degree wrap of floor to ceiling glazing on a staggered grid with green wall panels for added colour and texture.

Horizontal/vertical - Detail view of the IFC 5 office development showing a strong expressed vertical emphasis within the structural grid of pre-cast stone and full height glazing as shown in Figure 5.1121.

Frontage proportion - The IFC has a distinct top, middle and bottom expression to the office development with the roof level plant screen set back to reduce the visual impact when viewed from the street as shown in Figure 5.1122.

Plot G3



Plot G2

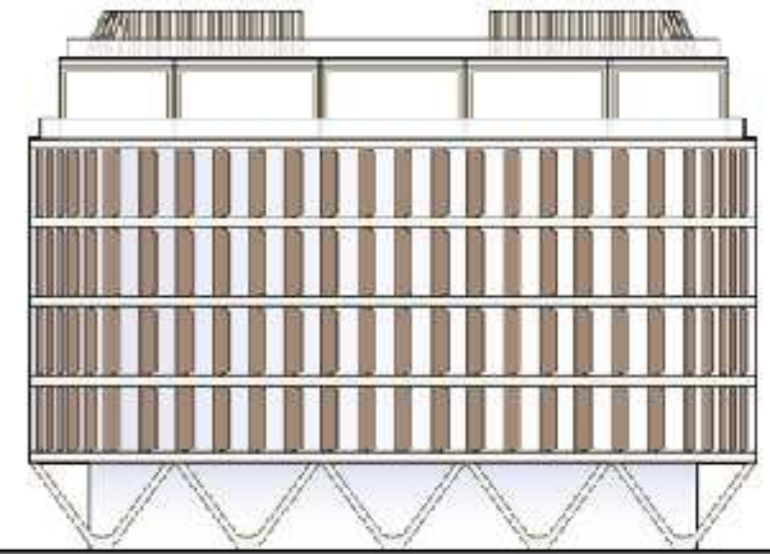


Figure 5.1118 Illustrative elevation of the Commercial Quarter typology facing the IFC buildings



Figure 5.1119 London, UK Precedent: Scale of detail



Figure 5.1120 St Helier Precedent, IFC (proposed): Turns the corner



Figure 5.1121 St Helier Precedent, IFC development: Horizontal/vertical



Figure 5.1122 St Helier Precedent, IFC development: Frontage proportion

5. The Framework

5.8 Architectural Typologies

5.8.9 Apex Building



LOCATION

Plot G1 occupies the tapering plot of land between the Esplanade and La Route de la Libération at the northern edge of the Framework. Its prominent location and unique position relative to the intersection of streets and urban character offers the potential for architectural solutions which respond to several distinct contexts- The Esplanade, the IFC , the emerging architecture of the new Waterfront and the historic harbours beyond.

CHARACTER

An understated architecture, with stepped building forms allowing the best views, sunlight, amenities and aspect.

Façades which reference the maritime industrial heritage of the nearby historic harbours, but also tell a contextual story with integrated salvage, recycled local aggregate concrete and public art conveying a sense of memory.

Activity and street frontage - the colonnade is continued and embraces the new public square as well as facilitating sheltered connectivity between the new Waterfront and town

Scale of detail - the bold high level steel trussed and trussed balcony triangular corners create a contextual dialogue with the historic harbours and help to visually link the new Waterfront with both the port and the town.



Figure 5.1123 Precedent: links to port - lightweight and light blue colours



Figure 5.1124 London, UK Precedent: links to port aesthetic



Figure 5.1125 44 Esplanade Precedent: framed façade, concrete / reconstructed stone

5. The Framework

5.8 Architectural Typologies

5.8.9 Apex Building



USES

The Apex typology has a lifted and activated base as it returns to the ground to provide a highly visible anchor at the entrance to the development. The residential development steps allowing panoramic views out across the town and waterfront.

MATERIALITY

A mixture of steel, aluminium and recycled pre-cast concrete form the backbone of the Apex typology materials palette, with weathered metals and glazing as the secondary palette elements. Anodised or coated metals give accent or enclosure within framing elements to create an overall high quality bold statement.

The architecture of the Apex building is legible and expressive of its various functions, eg ground floor colonnade, circulation walkways, podium gardens, private balconies or shared roof terraces.

New homes are all at least dual aspect and in some cases triple, ensuring the provision of good daylight and fresh air.

The scale of detail at a macro level references the historic maritime structures of the port, in the form of bold steel trusses, but at the micro scale picks up on Jersey's heritage of knitting, the oyster industry and sea-faring entrepreneurship in the form of smaller scale public art ideas integrated in to parts of the façades or metal railing.

Both the macro and micro design-thinking is intended to help deliver an enjoyable architectural narrative that reflects the strong sense of place in the area and delivers local identity to the new Waterfront.



Figure 5.1126 Apex building elevation facing Esplanade Square



Figure 5.1127 Top floor set back / warm metals



Figure 5.1128 Links to port - lightweight and light blue colours



Figure 5.1129 London, UK precedent: Activated ground plane